

DESIGN REVIEW COMMISSION
MUNICIPAL CENTER COUNCIL CHAMBERS
Tuesday, April 24, 2018
6:00 p.m.

The regular meeting of the Design Review Commission was scheduled and held in the Council Chambers of the Municipal Center on April 24, 2018.

1. Chairman Bruns called the meeting to order at 6:00 p.m.
2. Chairman Bruns requested the roll call. Ms. Regina Gibson called the roll of the Commission and established a quorum:

COMMISSIONERS PRESENT:

Mr. Paul Bruns, Chairman; Mr. Steve Landwehr, Secretary; Mr. Ralph Smith; Mr. Neeraj Kumar; Mr. Christopher Schmidt; and Alderman Owens

DEVELOPMENT STAFF PRESENT:

Ms. Sheila Pounder, Planning Division Manager; Ms. Regina Gibson, Administrative Secretary and Chas Higgins, Attorney

3. Approval of Minutes for March 27, 2018

Mr. Smith moved to approve the Design Review Commission minutes of March 27, 2018, seconded by Mr. Landwehr, with no further comments or discussions.

ROLL CALL: Mr. Schmidt – Abstain; Alderman Owens – Yes; Mr. Smith – Yes; Mr. Kumar – Abstain; Mr. Landwehr - Yes; Chairman Bruns – Yes.

MOTION PASSED

4. CONSENT AGENDA

- a. Take Five Oil Change – 6525 Poplar Ave – Approval of a Sign Package (Case No. 17-707)
Matt Klimek w/Signs Unlimited - Representative/Agent
- b. Trader Joe’s – 2130 Exeter Rd (Germantown Collection) – Approval of a Sign Package (Case No. 18-805)
Don Strack w/Trader Joe’s - Representative/Agent
- c. Dogwood Elementary School – 8945 Dogwood Rd. – Approval of a Ground-Mounted Sign (Case No. 18-809)
Aaron Law w/Germantown Municipal School District - Representative/Agent
- d. Bealls Outlet Store – 3150 Village Shops Dr. (Village Shops of Forest Hill) – Approval of a Storefront Façade Modification (Case No. 18-810)
Suzzi Grigoryan w/Lampert Group - Representative/Agent
- e. Avenida Senior Living – Phase 1, First Addition – NE Corner of Wolf River Blvd. and Germantown Pkwy – Approval of a Preliminary and Final Site Plan for a 162 unit Independent Living Facility. Previously Known as Agenda Item No. 5
Robert Muirhead w/Avenida Partners Development - Representative/Agent

Chairman Bruns reminded the Commissioners that voting on all matters on the Consent Agenda constitutes an acknowledgment that the member has read and reviewed the application materials/plans/staff reports and determined further discussion or presentation of an item is not necessary.

He stated if there was anyone in the audience that would like an item pulled, please request so at this time, and in seeing none, he called for a motion.

Alderman Owens made a motion to approve the Consent Agenda as discussed and seconded by Mr. Schmidt.

ROLL CALL: Mr. Kumar – Yes, but abstained from Item No. 4c; Mr. Landwehr – Yes; Mr. Smith – Yes; Alderman Owens – Yes, but abstained from Item No. 4c; Mr. Schmidt - Yes; and Chairman Bruns – Yes

MOTION PASSED

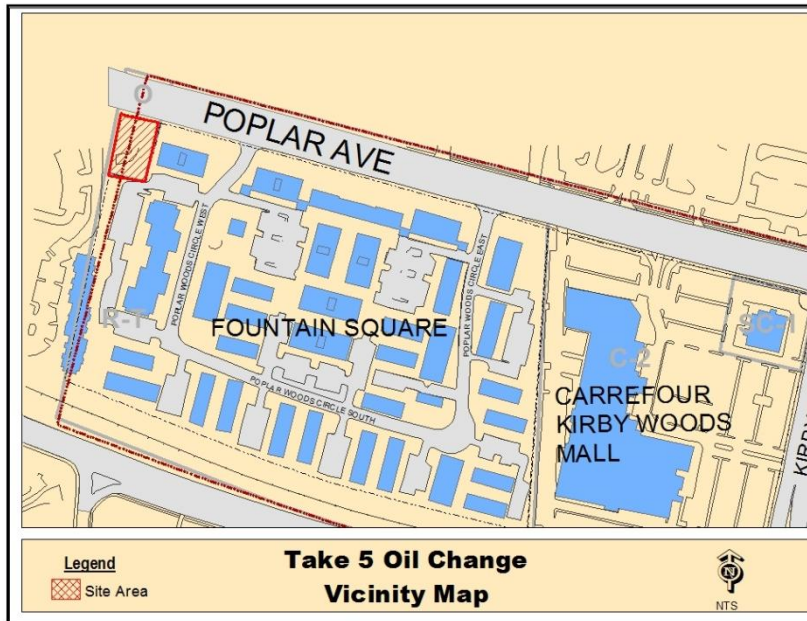
STAFF'S COMMENTS / DISCUSSIONS REGARDING THE CONSENT AGENDA ITEMS

- a. Take Five Oil Change – 6525 Poplar Ave – Approval of a Sign Package (Case No. 17-707)

INTRODUCTION:

Case Number:	17-707
Location:	6525 Poplar Avenue
Property Owner:	Edry B
Applicant/Representative Name:	Signs Unlimited, Matt Kilmek
Zoning District:	"T-5" Urban Center Zoning District
Description of Request:	Approval of Sign Package

*Refer to the Disclosure Form attached for more information




BACKGROUND: In July 2016, the Smart Code Review Committee considered the approval of a Preliminary and Final Site Plan for a 2,800 square foot retail/office building on the subject property. No action was taken on the proposal by the Committee and the application was withdrawn by the applicant after the Committee meeting. On March 7, 2017, the Planning Commission approved a preliminary and


final site plan along with six warrants for a new 2,373 square foot commercial building (oil change facility). The Board of Mayor and Aldermen gave final approval for the six warrants as required by the Section 23-745 of the Municipal Code on April 10, 2017. Development Contract 1218 for this project was approved on December 11, 2017, by the Board of Mayor and Aldermen.

DISCUSSION: The applicant is currently requesting approval of a sign package that includes two wall signs, four wall panel signs, one directional sign, and one ground-mounted sign. The specifics of the request are below:


SIGN 1 – Ground-Mounted

Location & Height:	The sign will be 15.3 feet behind the curb line of Poplar Avenue, double-sided, and perpendicular to the street, with a maximum height of 5.6 feet above the surrounding grade.
Total Sign Area:	23.62 sq. ft. total (11.81 sq. ft. per face)
Content/Logo:	
Colors & Materials:	Color: Letters = 3m Deep Red 023 & 3m Black 12 Background = Moonlight Base = Painted Limestone Rough Cap = Painted Dark Anodized Duranodic Bronze Materials: Letters = Clear Acrylic & Opaque Vinyl Background & Base = Aluminum
Font:	Original Font of Logo
Letter Height:	Varies from 3.44 inches to 14.58 inches
Mounting Structure:	6” Steel tube in concrete (3000 PSI @ 28 Days)
Lighting:	LED, internal illumination
Landscaping	Landscaping Plan, approved with previous site plan approval (See attachment)


SIGN 2: Ground-Mounted Directional

Location & Height:	Sign to be mounted at the northwest corner of the exit drive from the site, double-sided, and installed at a height of 1.8 ft. above surrounding grade
Total Sign Area:	.88 sq. ft.
Content:	
Colors & Materials:	Color: Letters = Black Background = Moonlight (Building Façade) Materials: Letters = Vinyl Graphics
Font:	Futura
Letter Size:	3 1.2 “
Mounting Structure:	Aluminum Post painted Dark Anodized Duranodic Bronze
Lighting:	None

SIGN A: Wall-Mounted Building Identification (North Elevation)

Location & Height:	Sign to be mounted on the north wall of the tenant space above the middle bay space and 14.65 ft. above surrounding grade.
Total Sign Area:	14.76 sq. ft.
Content:	
Colors & Materials:	Color: Letters = Hearthrob SW 6866 Background = Moonlight (Building Façade) Materials: Letters = Clear Acrylic & Opaque Vinyl
Font:	Original Font of Logo
Letter Size:	17" high
Logo:	None
Mounting Structure:	Stud mounted with silicone
Lighting:	White LED Halo illuminated channel letters

SIGN B: Wall-Mounted Building Identification (North Elevation)

Location & Height:	Sign to be mounted on the north wall of the tenant space above the primary building entrance and 22.6 ft. above surrounding grade.
Total Sign Area:	14.22 sq. ft.
Content:	
Colors & Materials:	Color: Letters = Hearthrob SW 6866 Background = Moonlight (Building Façade) Materials: Letters = Clear Acrylic & Opaque Vinyl
Font:	Original Font of Logo
Letter Size:	Varies from 10.9 inches to 32.3 inches
Logo:	None
Mounting Structure:	Stud mounted with silicone
Lighting:	White LED Halo illuminated channel letters

STAFF COMMENTS:

1. In response to the DRC subcommittee recommendation, the applicant revised the sign package to remove the checkerboard wall signs, thereby reducing the requested total sign area from 55.91 to 41.67 sq. ft. The staff made an error in calculating the total sign area for this site without the checkerboard signs at the subcommittee meeting and showed the new sign area as 31.77 sq. ft., which would have been less than the total allowable area (33.5 sq. ft.). This mistake led the Board to assume that all that was needed to bring this request into compliance with sign ordinance was to remove the checkerboard signs. However, in order to make this sign package in conformance, the remaining signs would have to be reduced an additional 8.17 sq. ft. Additional reduction in the sign package total will cause the signs to be out of proportion with the scale of the building & site. The applicant has submitted drawings, included in your DRC package, that reflect the sign area at the 33.5 sq. ft. for comparison to the 41.67 sq. ft. It is recommended that the DRC approve the signage package as revised with a total sign area of 41.67 sq. ft.
2. The proposed traffic directional sign has been revised to conform to all the requirements of Section 23-805(h). Please note that traffic directional signage is usually excluded from the calculation of the total sign

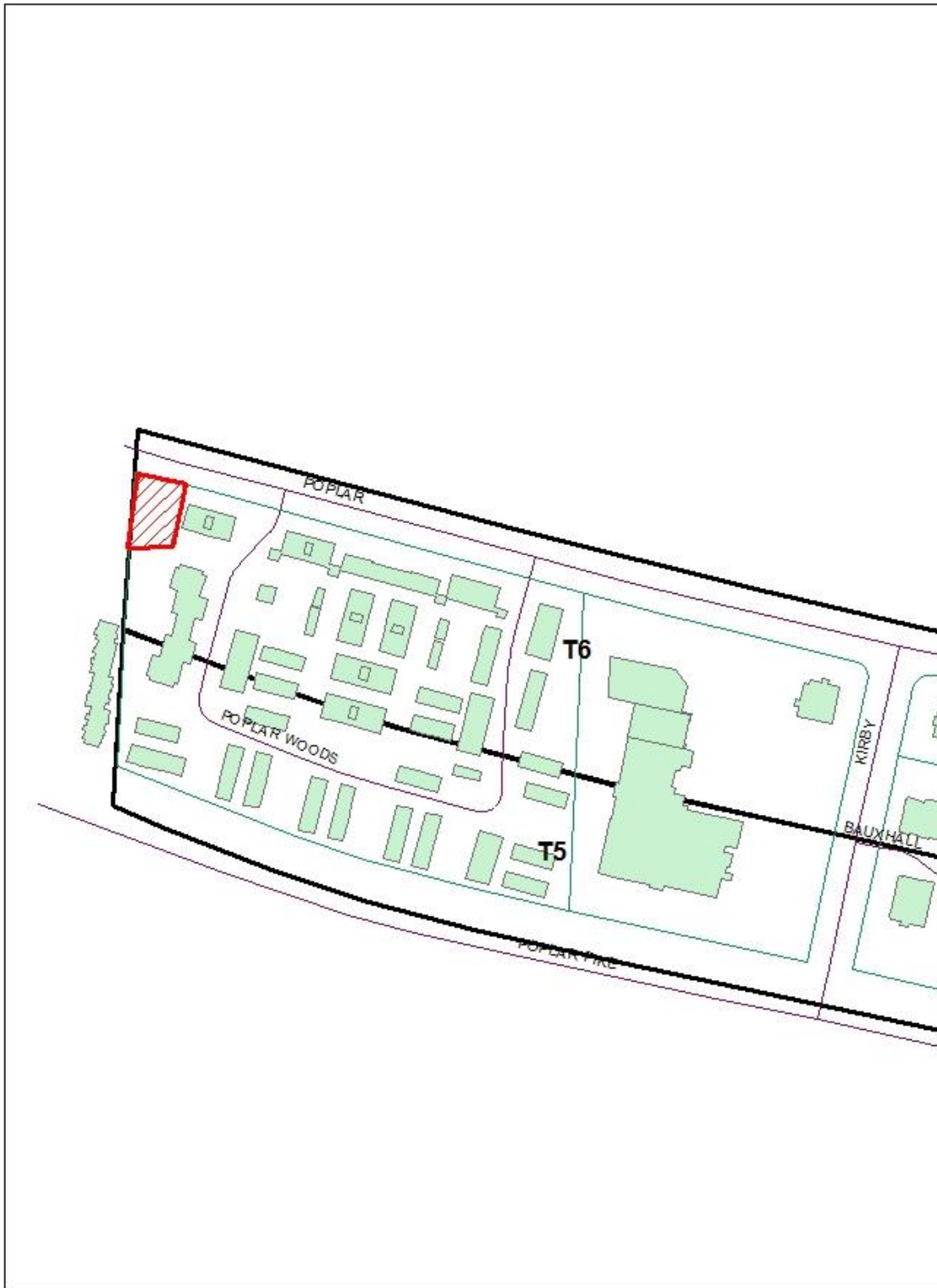
area for a site in all commercial & office districts except the Smart Code Districts. The total area of this sign is .88 sq. ft. If this area is also excluded from this site, the total sign area would be further reduced to 40.79 sq. ft.

3. The total sign area permitted for this site is 33.5 square feet pursuant to Section 23-805.C.2.c. states “Wall signs shall have a maximum total sign area per exterior façade with the entrance of 50 square feet, or one-half square foot for each linear foot of a building wall or lease space on which the sign is erected, whichever results in the smaller sign area, never to exceed 100 square feet”. The current request exceeds the maximum allowed by the sign regulations unless the DRC approves additional area for this signage.
4. The applicant is requesting additional sign area on the front of the building since there will not be signage on any of the other three building facades. If this site was developed in the standard commercial zoning districts then it would be allowed to have a maximum sign area of 67 square feet (one square foot for each linear foot of a building wall or lease space on which the sign is erected). The proposed 40.79 square feet of sign area is within the 100 square feet of area that is permitted with DRC approval. A warrant is not required for the approval of this sign package request.
5. The signs are proposed to be internally illuminated. The DRC manual recommends all signs be back or halo lit. The applicant proposes lighting of the signs using push-through acrylic in an aluminum cabinet with opaque vinyl covered the letter faces. See attached sign drawings for more detailed information.
6. Sec. 23-805(c)(4) of the Zoning Ordinance provides the following pertaining to ground-mounted signs “Content. Ground-mounted signs shall contain the name of the business and may include the address, hours, instructions, and primary products and services.” The applicant is seeking approval of the address on the ground-mounted sign instead of the building. (This correction was determined and made after the DRC subcommittee meeting.)
7. If approved, the applicant must obtain a permit from the Memphis /Shelby County Office of Code Enforcement prior to installing the signs.

RESUBMITTAL REVISIONS: The applicant has revised the sign package to remove the checkerboard signs which reduces the amount of total sign area they are requesting approval of for this site as requested by the DRC subcommittee.

DRC SUBCOMMITTEE REPORT: The DRC subcommittee met on April 12, 2018, and recommended that if the applicant agreed to their recommended revision (removal of checkerboard signs) that this item be placed on the consent agenda.

PROPOSED MOTION: To approve the sign package for Take 5, located at 6525 Poplar Avenue, subject to the Board’s discussion, staff comments and conditions, and the documents and plans submitted with the application.



Zoning Map

LARGE SCALE COPIES OF ALL SIGN DRAWINGS ARE INCLUDE IN DRC PACKAGE

SIGN #1

Side View Dimensions:
 Total height: 72.00"
 Sign top section: 22.00" (top), 19.00" (middle), 12.00" (bottom)
 Sign top section offset: 5"
 Sign top section offset: 3"
 Sign top section offset: 18.25"
 Sign base width: 15.00"

Front View Dimensions:
 Total height: 72.00"
 Sign top section: 44.00" (top), 41.00" (middle), 38.00" (bottom)
 Sign top section offset: 5"
 Sign top section offset: 3"
 Sign top section offset: 18.25"
 Sign base width: 24.00"
 Sign base height: 36.00"
 Sign base offset: 6"

Material Callouts:
 - PAINTED Dark Anodized Duranodic Bronze
 - PAINTED To Match EIFS Dryvit "Moonlight"
 - PAINTED To Match Arriscraft "Limestone Rough"
 - 6" Steel Tube (Square) 1/4" Wall
 - 3000 PSI@28 Days

Ground Sign

Sq. Ft. Signage: 11.81
 (SIGN AREA IS 38.00" w X 44.75" h)
 Allowed Sq. Ft.: 33.50 Aggregate (1/2 Sq. Ft. Per 1 Li. Ft. of Facade [67.00 Li. Ft.])
TOTAL: 14.76 Front (OIL CHANGE)
 14.22 Front (TAKE 5)
 11.81 Ground
 40.79

Routed Out Push Thru Letters

Size: As in drawing
 Color: Cabinet - See Layout
 Letters - Red & Black
 Face: Routed Aluminum w/ 1" Clear Acrylic Push Through Letters w/ Opaque Vinyl Atop (3m Black 12 & 3m Deep Red 23)
 Letter Interior: Glass White
 Illumination: LED
 Mounting: Into Earth

DETAIL

WHITE ACRYLIC BACKER
 ALUMINUM FACE
 1/2" THICK CLEAR ACRYLIC PUSH THROUGH LETTERS
 INSTALLATION TAB
 ALUMINUM FACE
 1/4" THICK x 2" WIDE ALUMINUM PLATE
 6" BUTTERFLY BOLT
 1/8" THICK ALUMINUM BACK
 1/8" THICK ALUMINUM CABINET
 ALUMINUM BACK
 LED STRIP

LANDLORD APPROVAL

NIGHT SHOT

SIGN #2

SIDE 1: 11.25" (width), 20.00" (height)

SIDE 2: 11.25" (width), 20.00" (height)

Quantity: 1

double-sided post and panel signs as depicted to the left

Double Sided Aluminum Post & Panel Signs
 Legs Painted To Match Dark Anodized Duranodic Bronze & Sign Faces Painted to Match EIFS Dryvit "Moonlight" with Applied Black Vinyl Graphics

SIGN #1



CITY OF GERMANTOWN TENNESSEE

1930 South Germantown Road • Germantown, Tennessee 38138-2815
Phone (901) 757-7200 Fax (901) 757-7292 www.germantown-tn.gov

DATE RECEIVED: _____
RECEIVED BY: _____

PERMANENT SIGN APPLICATION (ADMINISTRATIVE/DESIGN REVIEW COMMISSION)

Action Requested (Please circle one): Administrative Sign Approval / Design Review Commission Approval
If request is for administrative sign approval, does this sign meet every criteria included in the sign policy for this location? Yes: ___ No: ___ If no, explain: _____

- *****
- Sign Owner/Tenant: Take 5 Oil Change Phone No: 504-837-0670
 - Sign Owner's/Tenant's Address: 2450 Severn Ave, #308, Metairie, LA 70001 Email Address: Christy@Take5oilchange.com
 - Sign Location Address and Name of Shopping Center: 6525 Poplar Ave, Germantown, TN
 - Zoning District: Commercial ; Residential ___; Old Germantown ___; Office ___
 - Sign will be mounted on: Wall ___; Ground
 - Type Sign: Tenant Identification _____ Project Identification _____
 Building Identification _____ Traffic Directional _____
 Exterior Directory _____ Subdivision Identification _____
 Service Station Sign _____ Other (If other, explain on separate page) _____
 - Number of Sign Faces: One ___; Two
 - Linear feet of building frontage occupied by business where sign will be located: 67 feet.
Size of tenant space: 1,792.25 square feet
 - Size of Sign: Width: 3 feet 2 inches; Height: 3 feet 8.75 inches
TOTAL AREA OF SIGN IN SQUARE FEET: 23.62 (11.81 each side)
 - Height of sign at its highest point above the surrounding grade: 5 feet 6 inches.
 - Size of Letters: 1) Height 8.77" Width 25" Font: Original Font of Logo - Read "TAKE"
2) Height 14.58" Width 14.86" Font: Original Font of Logo - Read "5"
3) Height 3.44" Width 34" Font: Original Font of Logo - Read "Oil Change 6536"
 - Colors: Letters: Red SUBMIT COLOR SAMPLES
Background: Moonlight SUBMIT COLOR SAMPLES
 - Orientation of Sign to the Street: Parallel ; Perpendicular ___; Angled
 - Distance sign is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
13 Feet 9 Inches Name of Street: Curve of exit on Poplar Ave
15 Feet 3 Inches Name of Street: Back of curve not factoring in exit on Poplar Ave.
 - Distance building is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
49 Feet ___ Inches Name of Street: Poplar Avenue
___ Feet ___ Inches Name of Street: _____
 - Sign Content (words, letters, logos): Take 5 oil change
 - Size of logo: Horizontal ___ feet ___ inches; Vertical ___ feet ___ inches.
 - Sign Materials: Letters 3/4" Gemtrim; Sign Face Aluminum with Clear Acrylic and Vinyl
Mounting Structure (type and materials): .125 Extruded Aluminum
 - Sign Illumination, if applicable (type, location and wattage): LED, Internal
 - Sign Landscaping, if applicable landscape plan shall be submitted
 - Additional Comments: Landscape Plan provide with submittal.

SIGN # 2

DATE RECEIVED: _____
RECEIVED BY: _____



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2. Sign Owner's/Tenant's Address: 2450 Severn Ave, #308, Metairie, LA 70001 Email Address: Christy@Take5oilchange.com
3. Sign Location Address and Name of Shopping Center: 6525 Poplar Ave, Germantown, TN
4. Zoning District: Commercial ; Residential _____; Old Germantown _____; Office _____
5. Sign will be mounted on: Wall _____; Ground
6. Type Sign: _____ Tenant Identification _____ Project Identification _____
 _____ Building Identification _____ Traffic Directional _____
 _____ Exterior Directory _____ Subdivision Identification _____
 _____ Service Station Sign _____ Other (If other, explain on separate page) _____
7. Number of Sign Faces: One ; Two _____
8. Linear feet of building frontage occupied by business where sign will be located: 67 feet.
Size of tenant space: 1,792.25 square feet
9. Size of Sign: Width: _____ feet 4.75 inches; Height: _____ feet 4.25 inches
TOTAL AREA OF SIGN IN SQUARE FEET: 0.88
10. Height of sign at its highest point above the surrounding grade: 1 feet 8 inches.
11. Size of Letters: 1) Height _____ Width _____ Font: _____
 2) Height _____ Width _____ Font: _____
 3) Height _____ Width _____ Font: _____
12. Colors: Letters: Black SUBMIT COLOR SAMPLES
 Background: Moonlight SUBMIT COLOR SAMPLES
13. Orientation of Sign to the Street: Parallel ; Perpendicular _____; Angled
14. Distance sign is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
 6 Feet 0 Inches Name of Street: Poplar Ave
 _____ Feet _____ Inches Name of Street: _____
15. Distance building is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
 49 Feet 0 Inches Name of Street: Poplar Ave
 _____ Feet _____ Inches Name of Street: _____
16. Sign Content (words, letters, logos): Exit Only
17. Size of logo: Horizontal _____ feet _____ inches; Vertical _____ feet _____ inches.
18. Sign Materials: Letters Vinyl; Sign Face Aluminum
 Mounting Structure (type and materials): .125 Extruded Aluminum
19. Sign Illumination, if applicable (type, location and wattage): None
20. Sign Landscaping, if applicable landscape plan shall be submitted: None
21. Additional Comments: _____

SIGN A

DATE RECEIVED: _____
RECEIVED BY: _____



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 - Zoning District: Commercial ; Residential _____; Old Germantown _____; Office _____.
 - Sign will be mounted on: Wall ; Ground _____.
 - Type Sign: Tenant Identification _____ Project Identification _____
 Building Identification _____ Traffic Directional _____
 Exterior Directory _____ Subdivision Identification _____
 Service Station Sign _____ Other (If other, explain on separate page)
 - Number of Sign Faces: One ; Two _____.
 - Linear feet of building frontage occupied by business where sign will be located: 67 feet.
Size of tenant space: 1,792.25 square feet
 - Size of Sign: Width: 10 feet 5 inches; Height: 1 feet 5 inches
TOTAL AREA OF SIGN IN SQUARE FEET: 14.76
 - Height of sign at its highest point above the surrounding grade: 14 feet 6.5 inc'
 - Size of Letters: 1) Height 17" Width 125" Font: Original Font of Logo "Oil Che
2) Height _____ Width _____ Font: _____
3) Height _____ Width _____ Font: _____
 - Colors: Letters: Red SUBMIT COLOR SAMPLES
Background: N/A SUBMIT COLOR SAMPLES
 - Orientation of Sign to the Street: Parallel ; Perpendicular _____; Angled _____.
 - Distance sign is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
48 Feet 6 Inches Name of Street: Poplar Ave
_____ Feet _____ Inches Name of Street: _____
 - Distance building is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
49 Feet 0 Inches Name of Street: Poplar Ave
_____ Feet _____ Inches Name of Street: _____
 - Sign Content (words, letters, logos): Take 5 oil change
 - Size of logo: Horizontal _____ feet _____ inches; Vertical _____ feet _____ inches.
 - Sign Materials: Letters 3/4' Gemtrim; Sign Face .125 Aluminum
Mounting Structure (type and materials): .125 Extruded Aluminum
 - Sign Illumination, if applicable (type, location and wattage): LED, Halo Illuminated
 - Sign Landscaping, if applicable landscape plan shall be submitted
 - Additional Comments: _____

SIGN B

DATE RECEIVED: _____
RECEIVED BY: _____



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Phone (901) 757-7200 Fax (901) 757-7292 www.germantown-tn.gov

PERMANENT SIGN APPLICATION (ADMINISTRATIVE/DESIGN REVIEW COMMISSION)

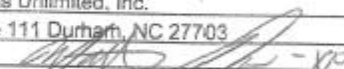
Action Requested (Please circle one): Administrative Sign Approval / Design Review Commission Approval
If request is for administrative sign approval, does this sign meet every criteria included in the sign policy for this location? Yes: ___ No: ___ If no, explain: _____


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 4. Zoning District: Commercial ; Residential _____; Old Germantown _____; Office _____
 5. Sign will be mounted on: Wall ; Ground _____
 6. Type Sign: _____ Tenant Identification _____ Project Identification _____
 _____ Building Identification _____ Traffic Directional _____
 _____ Exterior Directory _____ Subdivision Identification _____
 _____ Service Station Sign _____ Other (If other, explain on separate page)
 7. Number of Sign Faces: One ; Two _____
 8. Linear feet of building frontage occupied by business where sign will be located: 67 feet.
Size of tenant space: 1,792.25 square feet
 9. Size of Sign: Width: 3 feet 3 inches; Height: 4 feet 4.5 inches
TOTAL AREA OF SIGN IN SQUARE FEET: 14.22
 10. Height of sign at its highest point above the surrounding grade: 22 feet 6 inches.
 11. Size of Letters: 1) Height 10.9" Width 9" Font: Original Font of Logo "TAI"
 2) Height 32.3" Width 28.8" Font: Original Font of Logo "5"
 3) Height _____ Width _____ Font: _____
 12. Colors: Letters: Red SUBMIT COLOR SAMPLES
Background: N/A SUBMIT COLOR SAMPLES
 13. Orientation of Sign to the Street: Parallel ; Perpendicular _____; Angled _____
 14. Distance sign is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
48 Feet 6 Inches Name of Street: Poplar Ave
 _____ Feet _____ Inches Name of Street: _____
 15. Distance building is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
49 Feet 0 Inches Name of Street: Poplar Ave
 _____ Feet _____ Inches Name of Street: _____
 16. Sign Content (words, letters, logos): Take 5 oil change
 17. Size of logo: Horizontal _____ feet _____ inches; Vertical _____ feet _____ inches.
 18. Sign Materials: Letters 3/4' Gemtrim; Sign Face .125 Aluminum
Mounting Structure (type and materials): .125 Extruded Aluminum
 19. Sign Illumination, if applicable (type, location and wattage): LED, Halo Illuminated
 20. Sign Landscaping, if applicable landscape plan shall be submitted
 21. Additional Comments: _____

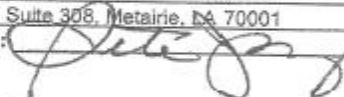
DISCLOSURE OF OWNERSHIP INTERESTS

In order to assist staff and appointed and elected officials of the City of Germantown in complying with Ordinances of the City relating to conflicts of interests, the following information is required to be furnished:

- For Profit Entities.** If the owner of the land which is the subject of this Application (including all owners, lessees and developers) is a for-profit entity, i.e. individual, sole proprietor, general partnership, limited partnership, corporation, limited liability company, R.E.I.T., a trust, or any other form of for-profit business entity, the authorized representative of the Owner must list below the respective names and business or home addresses of all persons or entities which own 10% or more of the ownership interests in the Owner. (If another business entity owns 10% or more of the ownership interests in the Owner, all persons owning a 10% or more interest in such last mentioned entity must be identified by name and business or home address.) (If a trust owns a 10% or more interest in the Owner, all beneficiaries of 10% or more of the trust assets must be identified by name and business or home address.) The amount of ownership interest does not have to be disclosed.

Applicant: Matt Klimek / Signs Unlimited, Inc.
Address: 607 Ellis Rd. Suite 111 Durham, NC 27703
Signature of Applicant:  - VP

Property Owner/Landlord: Edry B&K - 8, G.P., Brian Salek, General Partner
Address: 414 Electra Dr. Houston, TX 77024
Signature of Property Owner/Landlord:  / managing general partner

Tenant/Lessee: Take 5 Oil Change
Address: 2450 Severn Ave, Suite 308, Metairie, LA 70001
X Signature of Tenant/Lessee:  PRESIDENT

Persons or Entities* Owning 10% or More of the Ownership Interests of the Owner:

Name	Business or Home Address
<u>N/A</u>	<u>N/A</u>
<u> </u>	<u> </u>
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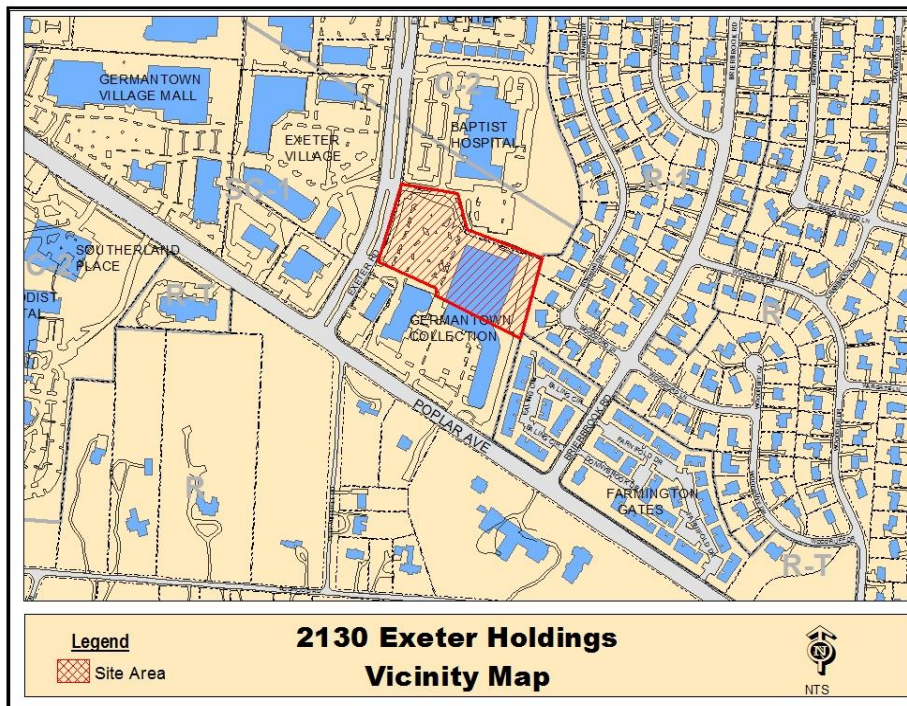
*See language in parenthesis above.

b. Trader Joe’s – 2130 Exeter Rd (Germantown Collection) – Approval of a Sign Package (Case No. 18-805)

INTRODUCTION:

Case Number:	18-805
Location:	2130 Exeter Rd. (Germantown Collection Shopping Center)
Property Owner:	2130 Exeter Rd. Holdings, LLC
Applicant/Representative Name:	Trader Joe’s – Don Strack, Director of Construction
Zoning District:	”T-5” Urban Center Zoning District (utilizing the pre-existing “SC-1” district regulations)
Description of Request:	Approval of Sign Package

*Refer to the Disclosure Form attached for more information




BACKGROUND: The property was rezoned from the “SC-1” Shopping Center District to the “T5” Urban Center District as part of the Germantown Smart Growth Plan in 2007. This site was originally approved by the Planning Commission as Farmington Shopping Center in 1986. The name of the development has been changed to Germantown Collection. The Board of Mayor and Aldermen approved Contract Number 93 on August 25, 1986 for the Germantown Collection. On August 18, 2015, the Planning Commission granted preliminary and final site plan approval for the redevelopment of this site. On July 20, 2016, the Planning Commission granted approval of a 2nd revised preliminary and final site plan for this project, and then granted approval of a 3rd revised preliminary and final site plan on December 3, 2016. A 4th revised preliminary and final site plan for the redevelopment of this site was approved on November 7, 2017. Presently, the renovation of the shopping center is under construction, consistent with this 4th approval.

Two initial project identification ground-mounted signs for the Germantown Collection Shopping Center were approved by the DRC in April, 1987. The DRC approved two replacement signs in November, 2011. On August 25, 2015, the DRC approved the replacement of one existing project identification


ground-mounted sign with a double-sided project directory ground-mounted sign at the entrance into the shopping center, at the western driveway entrance on Poplar Avenue.

DISCUSSION: The applicant is requesting approval of a sign package that includes two wall signs and one tenant identification panel on the shopping center project identification ground-mounted sign for a new tenant which will be located in Germantown Collection Shopping Center. The tenant sign panel (sign 3) will be on the ground-mounted project directory sign, which was approved in 2015. The specifics of the request are as follows:


SIGN 1: Wall-Mounted Building Identification (West Elevation)

Location & Height:	Sign to be mounted on the west wall of the tenant space above the entrance door (27 ft. from grade)
Total Sign Area:	80.51 sq. ft.
Content:	
Colors & Materials:	Color: Letters = Red PMS #186 w/ matte finish Background = Building Facade Materials: Letters = Aluminum
Font:	Custom corporate font
Letter Size:	2'10" high
Logo:	None
Mounting Structure:	Aluminum stud mounting on storefront façade
Lighting:	White LED backlighting (reverse internally illuminated channel letters)

SIGN 2: Wall-Mounted Building Identification (North Elevation)

Location & Height:	Sign to be mounted on the north wall of the tenant space (32 ft. from grade). There is no entrance on this side.
Total Sign Area:	19.43 sq. ft.
Content:	
Colors & Materials:	Color: Letters = Red PMS #186 w/ matte finish Background = Building Facade Materials: Letters = Aluminum
Font:	Custom corporate font
Letter Size:	1'4-3/4" high
Logo:	None
Mounting Structure:	Aluminum stud mounting on building façade
Lighting:	White LED backlighting (reverse internally illuminated channel letters)

SIGN 3: Tenant Identification Panel (Shopping Center Ground-Mounted Sign)

Location & Height:	The tenant panel sign will be located on one of the top panel spaces of an existing, double-faced project directory ground-mounted sign for the shopping center. The height of this panel will be 10' from grade.
Tenant Sign Panel Area:	12 sq. ft. (2'x 6')
Content:	
Colors & Materials:	Color: Letters = Off-white Plexi behind routed letters Panel = SW7020 Black Fox Materials: Letters = Plexi Panel = Aluminum panel painted
Font:	Shopping Center Sign - Custom Tenant Sign – Custom or Corporate Font
Letter Size	7"
Logo:	None
Mounting Structure:	Panel will be mounted with retainers
Lighting:	White LED Backlighting (internal illumination with routed letters)
Landscaping	Already approved in conjunction with the ground-mounted sign

STAFF COMMENTS:

1. The total allowable sign area is 75 sq. ft. (based on the linear footage of the building wall & size of the tenant space), with the option to request up to 100 sq. ft. from the Design Review Commission, based on the tenant space size as outlined in Section 14-34(c)(1). The total wall sign area being proposed is 99.94 sq.ft. (The tenant identification panel on the project identification ground-mounted sign does not count towards the total allowable signage.)
2. The applicant would like a second wall sign on the north elevation of the building. Per Section 14-34(b)(1)a. and b., the Design Review Commission has the authority to approve the following: “a wall sign on another wall of the occupant’s premises in lieu of a sign on a wall containing a major exterior entrance” and “more than one wall sign, when there is more than one major entrance; provided, however, that such additional sign is on a wall facing a public street or customer parking lot and containing a major entrance, and provided that any such sign does not face abutting residential areas.” The second wall sign faces a non-residential property.
3. The sign package request is not consistent with the shopping center’s adopted sign policy, especially allowable sign area and allowable letter font. If approved, the shopping center property management shall submit an application to the Design Review Commission for a revised, updated sign policy.
4. If approved, the applicant must obtain a permit from the Memphis/Shelby County Office of Code Enforcement prior to installing the signs.

DRC SUBCOMMITTEE REPORT: The DRC Subcommittee met on April 12, 2018, and requested that this application be placed on the consent agenda.

PROPOSED MOTION: To approve a sign package for Trader Joe's, located at 2130 Exeter Rd. (Germantown Collection Shopping Center), subject to the Board's discussion, staff comments and conditions of approval in the staff report, and the documents and plans submitted with the application.

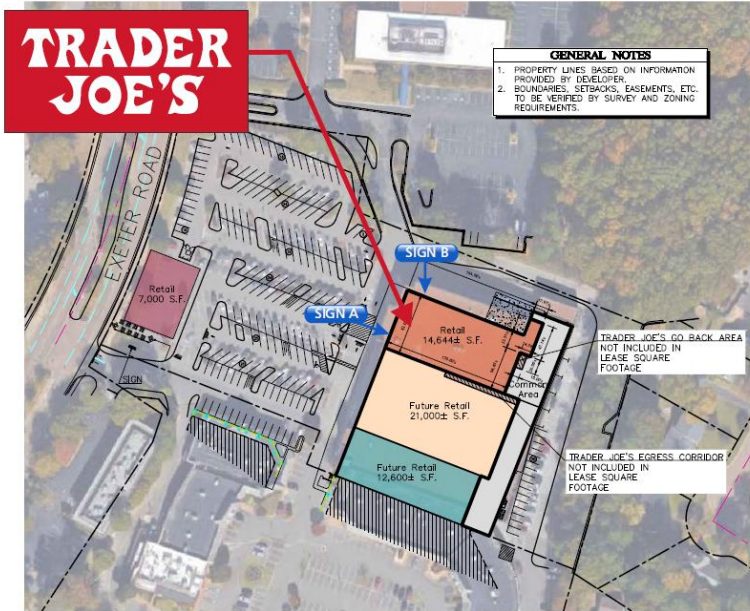
Contact 1900 Ocean Avenue Ronkonkoma, NY 11779 P631.737.3140 F631.737.4865

Sign Type: **

Description: AERIAL SITE PLAN

Quantity: **

AERIAL SITE PLAN
 SCALE: NTS



Don Strack
 Digitally signed by Don Strack
 DN: cn=Don Strack, o=Trader Joe's, ou=Director of Construction,
 email=dstrack@traderjoes.com, c=US
 Date: 2018.04.03 12:12:39 -0400



b **broadwaynational**

Job Name: TRADER JOE'S
 Address: GERMANTOWN COLLECTION
 2130 EXETER ROAD

Date: 10.10.17
 Job Number: 20619
 Project Manager: JD

Scale: SEE DRAWING
 Drawn By: KK
 Revised: 04.02.18 # 09.00

Approved
 Approved with Corrections
 Rejected
 Revise and Resubmit
 Signature: _____ Date: _____

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Contact 1900 Ocean Avenue Ronkonkoma, NY 11779 P631.737.3140 F631.737.4865

Sign Type: **

Description: ELEVATION

Quantity: **

ELEVATIONS (WEST)
 SCALE: 1/8"=1'

CODE:
 Code allows an aggregate of 75 sq. ft. of signage.
 DRC REVIEW WILL BE FOR THE FOLLOWING:
 A) Additional sign area may be permitted upon design review commission (DRC) approval giving us a total of 100 sq. ft. in aggregate sq. ft.
 B) Faces to be PMS #186C Red Matte Finish
 C) Trader Joe's specific font; as only Palatino or Palatino Bold is allowed.
 D) If height of the letters is above 36"H, they will need approval.
 E) Channel letter returns thickness of .063 gauge.
 NOTE:
 A) Internally illuminated acrylic face lit letters are prohibited, only back lit (Halo lit) letters are permitted.
 B) The tenant panels on the landlord's monument sign does not count towards the aggregate sq.ft. for your store.
 "A" PROPOSED: 80.51 SQ FT.
 "B" PROPOSED: 19.43 SQ FT.
 TOTAL PROPOSED: 99.94 SF

SIGN #1



Don Strack
 Digitally signed by Don Strack
 DN: cn=Don Strack, o=Trader Joe's, ou=Director of Construction,
 email=dstrack@traderjoes.com, c=US
 Date: 2018.04.03 12:13:38 -0400

b **broadwaynational**

Job Name: TRADER JOE'S
 Address: GERMANTOWN COLLECTION
 2130 EXETER ROAD

Date: 10.10.17
 Job Number: 20619
 Project Manager: JD

Scale: SEE DRAWING
 Drawn By: KK
 Revised: 04.02.18 # 09.00

Approved
 Approved with Corrections
 Rejected
 Revise and Resubmit
 Signature: _____ Date: _____

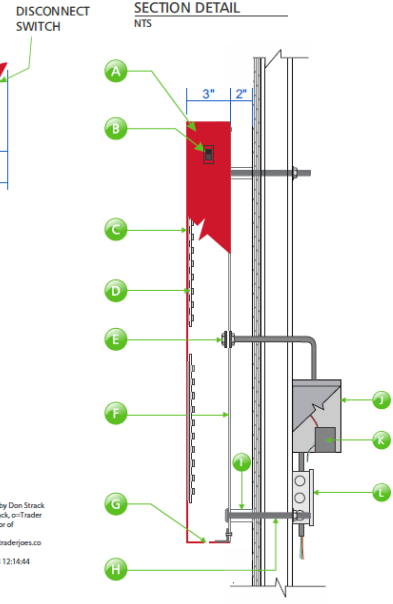
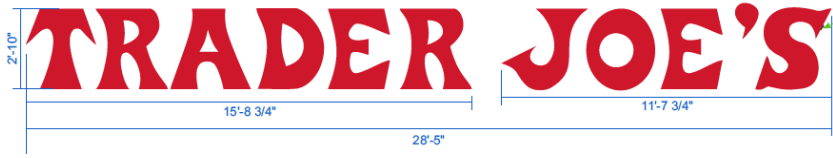
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Contact 1900 Ocean Avenue Ronkonkoma, NY 11779 P631.737.3140 F631.737.4865

Sign Type: CHANNEL LETTERS | Description: LED ILLUMINATED HALO LIT | Quantity: (1)

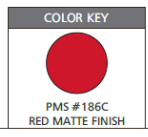
SIGN A LED ILLUMINATED HALO LIT CHANNEL LETTERS
 SCALE: 3/8"=1'-0" 80.51 Sq. Ft.

SIGN #1



NOTES:
 ELECTRICAL WIRING FROM SIGN TO BE WIRED INTO THE PRIMARY ELECTRICAL SOURCE. DEDICATED 120V AC CIRCUIT REQUIRED AND TO BE PROVIDED BY OTHERS PRIOR TO SIGN INSTALLATION

NOTES:
 ALL ELECTRICAL PARTS & ASSEMBLIES UL LISTED. UL LABELS TO BE LOCATED AT DISCONNECT SWITCH



- A .063" Aluminum returns PTM PMS #186C Red Matte Finish
- B Disconnect switch
- C .125" Aluminum face PTM PMS #186C Red Matte Finish
- D Warm White LED lighting
- E .2" Power holes
- F .150" Clear polycarbonate backs with precision-CNC routed hole for electrical wiring
- G 1/4" weep holes in back. Light baffles not required
- H Non-Corrosive 1/4"-20 thru-bolts with Fender washers & nuts. Mounting hardware may vary to suit wall conditions
- I 2" spacers PTM facade
- J Enclosure Box
- K LED Power supply
- L 120v. Primary power junction box provided by others prior to installation

Don Strack
 Digitally signed by Don Strack
 DN: cn=Don Strack, o=Trader Joe's, ou=Director of Construction, email=dstrack@traderjoes.com, c=US
 Date: 2018.04.03 12:14:44 -0400

b **broadwaynational**

Job Name: TRADER JOE'S
 Address: GERMANTOWN COLLECTION
 2130 EXETER ROAD

Date: 10.10.17
 Job Number: 20619
 Project Manager: JD

Scale: SEE DRAWING
 Drawn By: KK
 Revised: 04.02.18 # 09.00

Approved Rejected
 Approved with Corrections Revise and Resubmit
 Signature: _____ Date: _____

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Contact 1900 Ocean Avenue Ronkonkoma, NY 11779 P631.737.3140 F631.737.4865

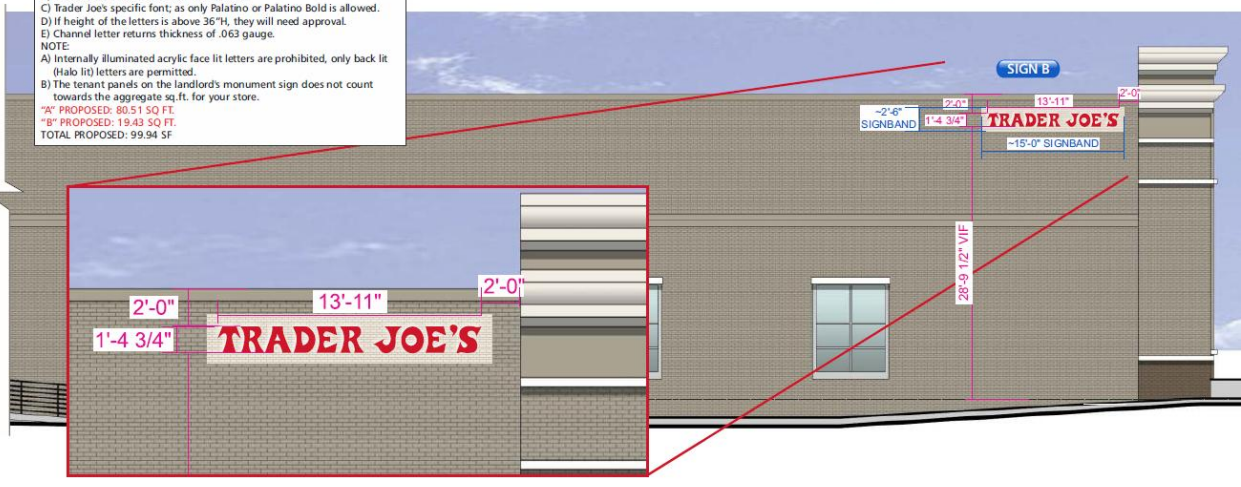
Sign Type: ** | Description: ELEVATION | Quantity: **

ELEVATIONS (NORTH)
 SCALE: 1/8"=1'

SIGN #2

Don Strack
 Digitally signed by Don Strack
 DN: cn=Don Strack, o=Trader Joe's, ou=Director of Construction, email=dstrack@traderjoes.com, c=US
 Date: 2018.04.03 12:14:16 -0400

CODE:
 Code allows an aggregate of 75 sq. ft. of signage.
 DRC REVIEW WILL BE FOR THE FOLLOWING:
 A) Additional sign area may be permitted upon design review commission (DRC) approval giving us a total of 100 sq. ft. in aggregate sq. ft.
 B) Faces to be PMS #186C Red Matte Finish
 C) Trader Joe's specific font; as only Palatino or Palatino Bold is allowed.
 D) If height of the letters is above 36"H, they will need approval.
 E) Channel letter returns thickness of .063 gauge.
 NOTE:
 A) Internally illuminated acrylic face lit letters are prohibited, only back lit (halo lit) letters are permitted.
 B) The tenant panels on the landlord's monument sign does not count towards the aggregate sq. ft. for your store.
 "A" PROPOSED: 80.51 SQ. FT.
 "B" PROPOSED: 19.43 SQ. FT.
 TOTAL PROPOSED: 99.94 SF



b **broadwaynational**

Job Name: TRADER JOE'S
 Address: GERMANTOWN COLLECTION
 2130 EXETER ROAD

Date: 10.10.17
 Job Number: 20619
 Project Manager: JD

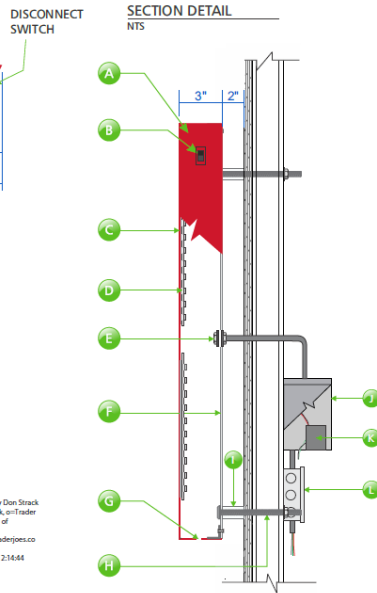
Scale: SEE DRAWING
 Drawn By: KK
 Revised: 04.02.18 # 09.00

Approved Rejected
 Approved with Corrections Revise and Resubmit
 Signature: _____ Date: _____

This artwork is the property of Broadway National. Unauth.GERMANTOWN, TN.38138 distribution is prohibited.

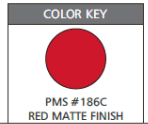
SIGN A LED ILLUMINATED HALO LIT CHANNEL LETTERS
 SCALE: 3/8"=1'-0" 80.51 Sq. Ft.

SIGN #2



NOTES:
 ELECTRICAL WIRING FROM SIGN TO BE WIRED INTO THE PRIMARY ELECTRICAL SOURCE. DEDICATED 120V AC CIRCUIT REQUIRED AND TO BE PROVIDED BY OTHERS PRIOR TO SIGN INSTALLATION

NOTES:
 ALL ELECTRICAL PARTS & ASSEMBLIES UL LISTED. UL LABELS TO BE LOCATED AT DISCONNECT SWITCH



- A .063" Aluminum returns PTM PMS #186C Red Matte Finish
- B Disconnect switch
- C .125" Aluminum face PTM PMS #186C Red Matte Finish
- D Warm White LED lighting
- E 2" Power holes
- F .150" Clear polycarbonate backs with precision-CNC routed hole for electrical wiring
- G 1/4" weep holes in back. Light baffles not required
- H Non-Corrosive 1/4"-20 thru-bolts with Fender washers & nuts. Mounting hardware may vary to suit wall conditions
- I 2" spacers PTM facade
- J Enclosure Box
- K LED Power supply
- L 120v. Primary power junction box provided by others prior to installation

Don Strack
 Digitally signed by Don Strack
 DN: cn=Don Strack, o=Trader Joe's, ou=Director of Construction, email=dstrack@traderjoes.com, c=US
 Date: 2018.04.03 12:34:44 -0400

b **broadwaynational**

Job Name: TRADER JOE'S
 Address: GERMANTOWN COLLECTION
 2130 EXETER ROAD

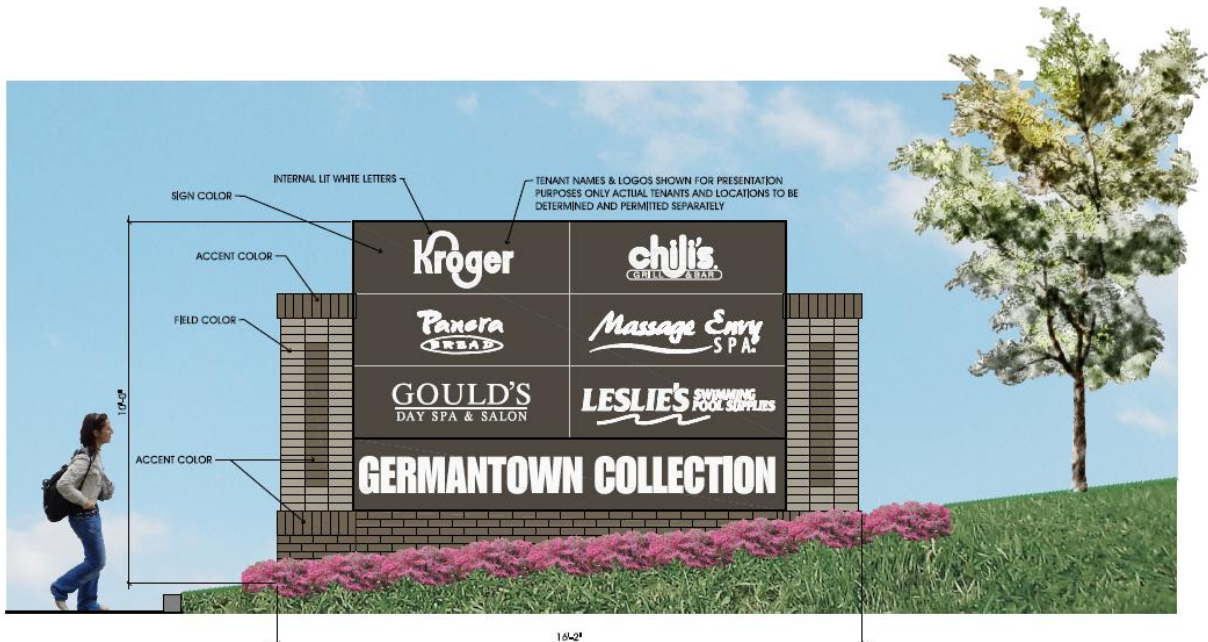
Date: 10.10.17
 Job Number: 20619
 Project Manager: JD

Scale: SEE DRAWING
 Drawn By: KK
 Revised: 04.02.18 # 09.00

Approved
 Approved with Corrections
 Rejected
 Revise and Resubmit
 Signature: _____ Date: _____

This artwork is the property of Broadway National. Unautho GERMANTOWN, TN.38138 Distribution is prohibited.

APPROVED PROJECT IDENTIFICATION GROUND-MOUNTED SIGN



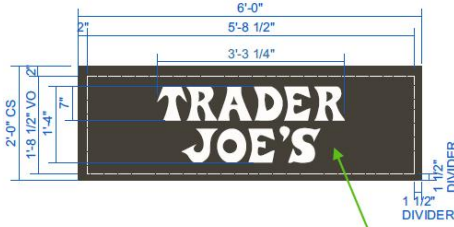
Contact: 1900 Ocean Avenue Ronkonkoma, NY 11779 P631.737.3140 F631.737.4865

SIGN #3

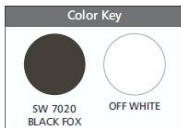
SIGN C DOUBLE FACED LED ILLUMINATED MONUMENT - PANELS 9.75 Sq. Ft.
 SCALE: 3/4" = 1'

Sign Type: DOUBLE FACED MONUMENT Description: ROUTED & BACKED ALUMINUM PANELS Quantity: (2)

SIGN #3



TENANT PANEL: 3/16" PLEXI
 BACKED BEHIND ROUTED ALUMINUM FACES.
 BACKGROUND SW 7020 BLACK FOX



NOTES:
 TENANT PANEL SF DOES NOT
 COUNT TOWARDS OVERALL
 SIGN ALLOWANCE.



PROPOSED



Job Name: TRADER JOE'S
 Address: GERMANTOWN COLLECTION
 2130 EXETER ROAD

Date: 10.10.17
 Job Number: 20619
 Project Manager: JD

Scale: SEE DRAWING
 Drawn By: KK
 Revised: 04.16.18 # 10.00

Approved Rejected
 Approved with Corrections Revise and Resubmit
 Signature: _____ Date: _____

SIGN #1

West Elevation

DATE RECEIVED: _____
RECEIVED BY: _____



CITY OF GERMANTOWN TENNESSEE

1930 South Germantown Road • Germantown, Tennessee 38138-2815
Phone (901) 757-7200 Fax (901) 757-7292 www.germantown-tn.gov

DESIGN REVIEW COMMISSION APPLICATION FOR PERMANENT SIGN

Action Requested (Please circle one): Administrative Sign Approval / Design Review Commission Approval
If request is for administrative sign approval does this sign meet every criteria included in the sign policy for this location? Yes: ___ No: ___ If no, explain: _____

1. Sign Owner: Trader Joe's Phone No: _____
2. Sign Owner's Address: 2130 Exeter Road, Germantown, TN 38138 Email Address: _____
3. Sign Location Address and Name of Shopping Center: 2130 Exeter Road, Germantown, TN 38138
Farmington Shopping Center First Add Pl
4. Zoning District: Commercial ; Residential _____; Old Germantown _____; Office _____.
5. Sign will be mounted on: Wall ; Ground _____.
6. Type Sign: _____ Tenant Identification _____ Project Identification
 Building Identification _____ Traffic Directional
_____ Exterior Directory _____ Subdivision Identification
_____ Service Station Sign _____ Other (If other, explain on separate page)
7. Number of Sign Faces: One ; Two _____.
8. Linear feet of building frontage occupied by business where sign will be located: 84 feet.
9. Size of Sign: Width: 28 feet 5 inches; Height: 2 feet 10 inches
TOTAL AREA OF SIGN IN SQUARE FEET: 80.51
10. Height of sign at its highest point above the surrounding grade: 27 feet 1 inches.
11. Size of Letters: 1) Height 2' - 10" Width 28' - 5" Font: custom copywrited logo.
2) Height _____ Width _____ Font: _____.
3) Height _____ Width _____ Font: _____.
12. Colors: Letters: Red - PMS # 186 w/ matte finish **SUBMIT COLOR SAMPLES**
Background: _____ **SUBMIT COLOR SAMPLES**
13. Orientation of Sign to the Street: Parallel _____; Perpendicular ; Angled _____.
14. Distance sign is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
334 Feet 83 Inches Name of Street: Exeter Road
615 Feet 39 Inches Name of Street: Poplar Avenue
15. Distance building is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
334 Feet 83 Inches Name of Street: Exeter Road
615 Feet 39 Inches Name of Street: Poplar Avenue
16. Sign Content (words, letters, logos): Trader Joe's
17. Size of logo: Horizontal N/A feet _____ inches; Vertical _____ feet _____ inches.
18. Sign Materials: Letters .080 aluminum; Sign Face Red - PMS # 186 w/ matte finish
Mounting Structure (type and materials): Non-Corrosive 1/4" - 20 thru-bolts w/ fender washers & nuts. Hardware may vary to suit wall conditions.
19. Sign Illumination, if applicable (type, location and wattage): Warm white LED lighting, Enclosure box, LED power supply,
120v. Primary power junction box provided by others prior to installation.
20. Sign Landscaping, if applicable landscape plan shall be submitted
21. Additional Comments: _____

SIGN #2

North Elevation

DATE RECEIVED: _____
RECEIVED BY: _____



**CITY OF
GERMANTOWN
TENNESSEE**

1930 South Germantown Road • Germantown, Tennessee 38138-2815
Phone (901) 757-7200 Fax (901) 757-7292 www.germantown-tn.gov

**DESIGN REVIEW COMMISSION
APPLICATION FOR PERMANENT SIGN**

Action Requested (Please circle one): Administrative Sign Approval / Design Review Commission Approval
If request is for administrative sign approval does this sign meet every criteria included in the sign policy for this location? Yes: ___ No: ___ If no, explain: _____

1. Sign Owner: Trader Joe's Phone No: _____
2. Sign Owner's Address: 2130 Exeter Road, Germantown, TN 38138 Email Address: _____
3. Sign Location Address and Name of Shopping Center: 2130 Exeter Road, Germantown, TN 38138
Farmington Shopping Center First Add Pl
4. Zoning District: Commercial ; Residential _____; Old Germantown _____; Office _____.
5. Sign will be mounted on: Wall ; Ground _____.
6. Type Sign: _____ Tenant Identification _____ Project Identification _____
 Building Identification _____ Traffic Directional _____
_____ Exterior Directory _____ Subdivision Identification _____
_____ Service Station Sign _____ Other (If other, explain on separate page)
7. Number of Sign Faces: One ; Two _____.
8. Linear feet of building frontage occupied by business where sign will be located: 84 feet.
9. Size of Sign: Width: 13 feet 11 inches; Height: 1 feet 4-3/4 inches
TOTAL AREA OF SIGN IN SQUARE FEET: 19.43
10. Height of sign at its highest point above the surrounding grade: 32 feet 0 inches.
11. Size of Letters: 1) Height 1'-4 3/4" Width 13' - 11" Font: custom copywrited logo
2) Height _____ Width _____ Font: _____
3) Height _____ Width _____ Font: _____
12. Colors: Letters: Red - PMS # 186 w/ ~~satn finish~~ matte finish **SUBMIT COLOR SAMPLES**
Background: _____ **SUBMIT COLOR SAMPLES**
13. Orientation of Sign to the Street: Parallel _____; Perpendicular ; Angled _____.
14. Distance sign is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
391 Feet 71 Inches Name of Street: Exeter Road
655 Feet 54 Inches Name of Street: Poplar Avenue
15. Distance building is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
324 Feet 05 Inches Name of Street: Exeter Road
400 Feet 33 Inches Name of Street: Poplar Avenue
16. Sign Content (words, letters, logos): Trader Joe's
17. Size of logo: Horizontal N/A feet _____ inches; Vertical _____ feet _____ inches.
18. Sign Materials: Letters: .080 aluminum; Sign Face Red - PMS # 186 w/ ~~satn finish~~ matte finish
Mounting Structure (type and materials): Non-Corrosive 1/4" - 20 thru-bolts w/ fender washers & nuts. Hardware may vary to suit wall conditions.
19. Sign Illumination, if applicable (type, location and wattage): Warm white LED lighting, Enclosure box, LED power supply,
120v. Primary power junction box provided by others prior to installation.
20. Sign Landscaping, if applicable landscape plan shall be submitted
21. Additional Comments: _____

SIGN #3

Monument Sign



CITY OF GERMANTOWN TENNESSEE

1930 South Germantown Road • Germantown, Tennessee 38138-2815
Phone (901) 757-7200 Fax (901) 757-7292 www.germantown-tn.gov

DATE RECEIVED: _____
RECEIVED BY: _____

PERMANENT SIGN APPLICATION (ADMINISTRATIVE/DESIGN REVIEW COMMISSION)

Action Requested (Please circle one): Administrative Sign Approval / Design Review Commission Approval
If request is for administrative sign approval, does this sign meet every criteria included in the sign policy for this location? Yes: ___ No: ___ If no, explain: _____

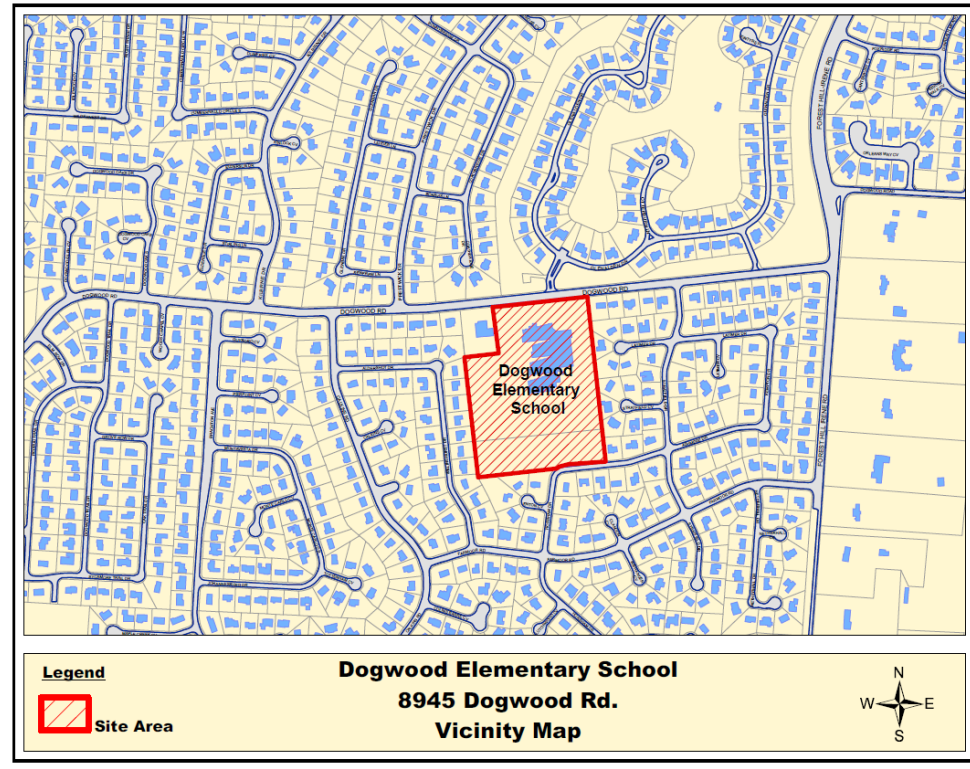
1. Sign Owner/Tenant: Trader Joe's Phone No: 317-605-9423
2. Sign Owner's/Tenant's Address: 2130 Exeter Road, Germantown, TN 38138 Email Address: dstrack@traderjoes.com
3. Sign Location Address and Name of Shopping Center: 2130 Exeter Road, Germantown, TN 38138/ Farmington Shopping Center.
4. Zoning District: Commercial ; Residential _____; Old Germantown _____; Office _____.
5. Sign will be mounted on: Wall _____; Ground .
6. Type Sign: Tenant Identification _____ Project Identification
 _____ Building Identification _____ Traffic Directional
 _____ Exterior Directory _____ Subdivision Identification
 _____ Service Station Sign _____ Other (If other, explain on separate page)
7. Number of Sign Faces: One ; Two _____.
8. Linear feet of building frontage occupied by business where sign will be located: 84 feet.
Size of tenant space: 12 square feet
9. Size of Sign: Width: 6 feet 0 inches; Height: 2 feet 0 inches
TOTAL AREA OF SIGN IN SQUARE FEET: 12
10. Height of sign at its highest point above the surrounding grade: _____ feet _____ inches.
11. Size of Letters: 1) Height 1'-6" Width 3'-8 3/4" Font: custom copywrited logo.
 2) Height _____ Width _____ Font: _____.
 3) Height _____ Width _____ Font: _____.
12. Colors: Letters: off white **SUBMIT COLOR SAMPLES**
 Background: SW 7020 Black Fox **SUBMIT COLOR SAMPLES**
13. Orientation of Sign to the Street: Parallel ; Perpendicular _____; Angled _____.
14. Distance sign is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
 30 Feet 0 Inches Name of Street: Exeter Road
 378 Feet 58 Inches Name of Street: Poplar Avenue
15. Distance building is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
 324 Feet 5 Inches Name of Street: Exeter Road
 400 Feet 33 Inches Name of Street: Poplar Avenue
16. Sign Content (words, letters, logos): Trader Joe's
17. Size of logo: Horizontal N/A feet _____ inches; Vertical _____ feet _____ inches.
18. Sign Materials: Letters off white plexi behind routed letters Sign Face Plexi backed behind routed aluminum faces. background sw 7020 black fox.
 Mounting Structure (type and materials): retainers
19. Sign Illumination, if applicable (type, location and wattage): _____
 white led's
20. Sign Landscaping, if applicable landscape plan shall be submitted
21. Additional Comments: Tenant panel to be installed on existing monument.

c. Dogwood Elementary School – 8945 Dogwood Rd. – Approval of a Ground-Mounted Sign (Case No. 18-809)

INTRODUCTION:

Case Number:	18-809
Location:	8945 Dogwood Rd.
Property Owner/Applicant:	Germantown Municipal School District (GMSD) – Aaron Law
Zoning District:	“R” Single-Family Residential
Description of Request:	Approval of Ground-Mounted Sign


*Refer to the Disclosure Form attached for more information



BACKGROUND: Dogwood Elementary School was constructed by the Shelby County Board of Education in 1977. It was transferred to the Germantown Municipal School District when that entity was created in 2014.

DISCUSSION: The applicant is requesting approval of a ground-mounted sign for the school fronting on Dogwood Road. The specifics of the request are as follows:

SIGN: *Ground-Mounted Sign*

Location & Height:	One single-faced parallel sign to be mounted 30 feet from the back of the pavement on Dogwood Road; 5'6" feet tall from the surrounding grade.
Total Sign Area:	24 sq. ft.
Content:	
Colors & Materials:	Color: Letters = White (NOTE: Cream or off-white recommended) Materials: Letters = Paint Face = .090 Aluminum Background = Brick
Font:	Aachen and Arial Italics
Letter Size:	Varies 3.5" to 10" in height
Mounting Structure:	Brick Base (to match school)
Lighting:	None proposed
Landscaping:	Dwarf yaupon holly and day lilies (see landscaping drawing)

STAFF COMMENTS:

1. DRC approval is required for all permanent signs for businesses not located in a shopping center with an approved sign policy that allows administrative approval by staff.
2. The existing institutional use is located within the "R" Residential District and is governed by Section 14-33(a) and (b)(1) of the Germantown Sign Ordinance, which states in part that, "Church, public or semipublic building and public park identification signs shall be allowed one ground-mounted identification sign."
3. Per Section 14-33(c)(1) permits a maximum "sign area of one face, not to exceed 25 sq. ft. or regardless of the number of faces, total sign area not to exceed 50 sq. ft" for ground-mounted sign. The requested sign face area of the ground-mounted sign is 24 sq. ft., which conforms.
4. No lighting is being proposed at this time. If lighting is to be proposed, Planning Division staff recommends that the lighting be similar to that which was approved for the ground-mounted sign for Riverdale Elementary School with administrative approval by Planning Division staff.
5. Per Section 14-33(b)(7), a public school is allowed one wall-mounted project identification sign. The school currently has one wall sign of black letters mounted to the brick façade near the front entrance.
6. If approved, the applicant shall submit to the Planning Division revised final drawings and a revised landscaping plan, prior to applying for a permit from the Memphis/Shelby County Office of Code Enforcement that addresses the following:
 - a. The proposed planting material around the base of the ground-mounted sign be revised to more drought-tolerant, low maintenance varieties, as requested by the DRC
 - b. The color of the letters be revised to an off-white or cream, and that the quotes surrounding "Est 1977" be removed.

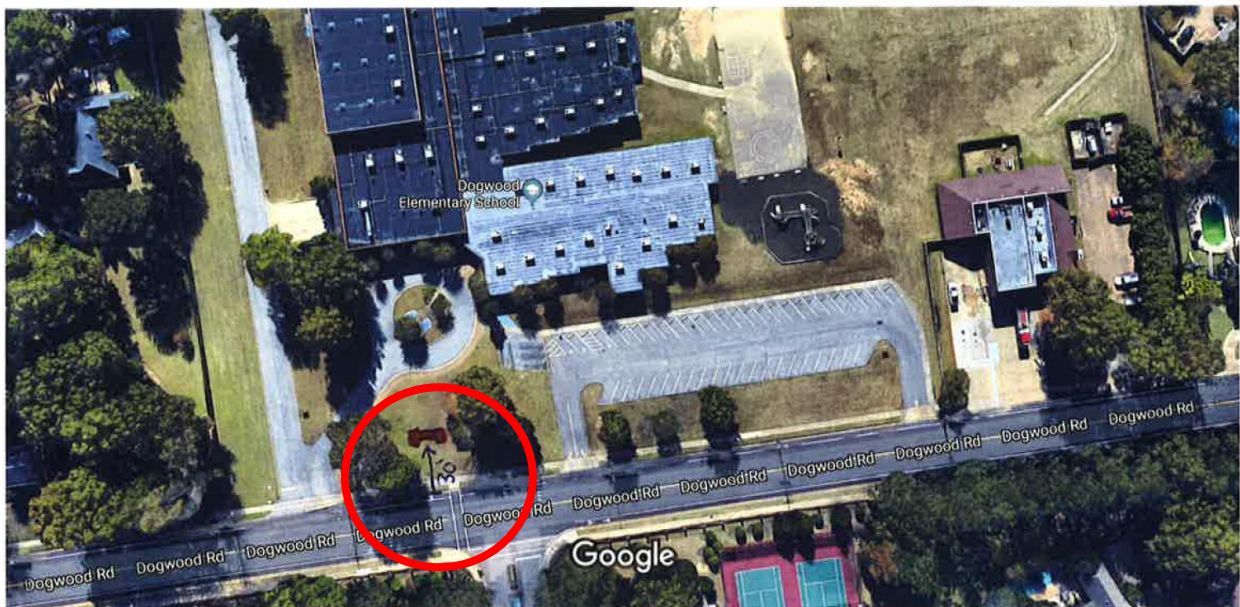
- c. The elevation drawing be revised to show the correct location of the sign. (Currently, it is incorrectly shown as in the island of the turn-around driveway.)
7. If approved, the applicant must obtain a permit from the Memphis/Shelby County Office of Code Enforcement prior to installing the signs.

DRC SUBCOMMITTEE REPORT: The DRC Subcommittee met on April 12, 2018, and requested that this application be placed on the consent agenda.

PROPOSED MOTION: To approve a ground-mounted sign for Dogwood Elementary School, located at 8945 Dogwood Rd., subject to the Board’s discussion, staff comments and conditions in the staff report, and the documents and plans submitted with the application.

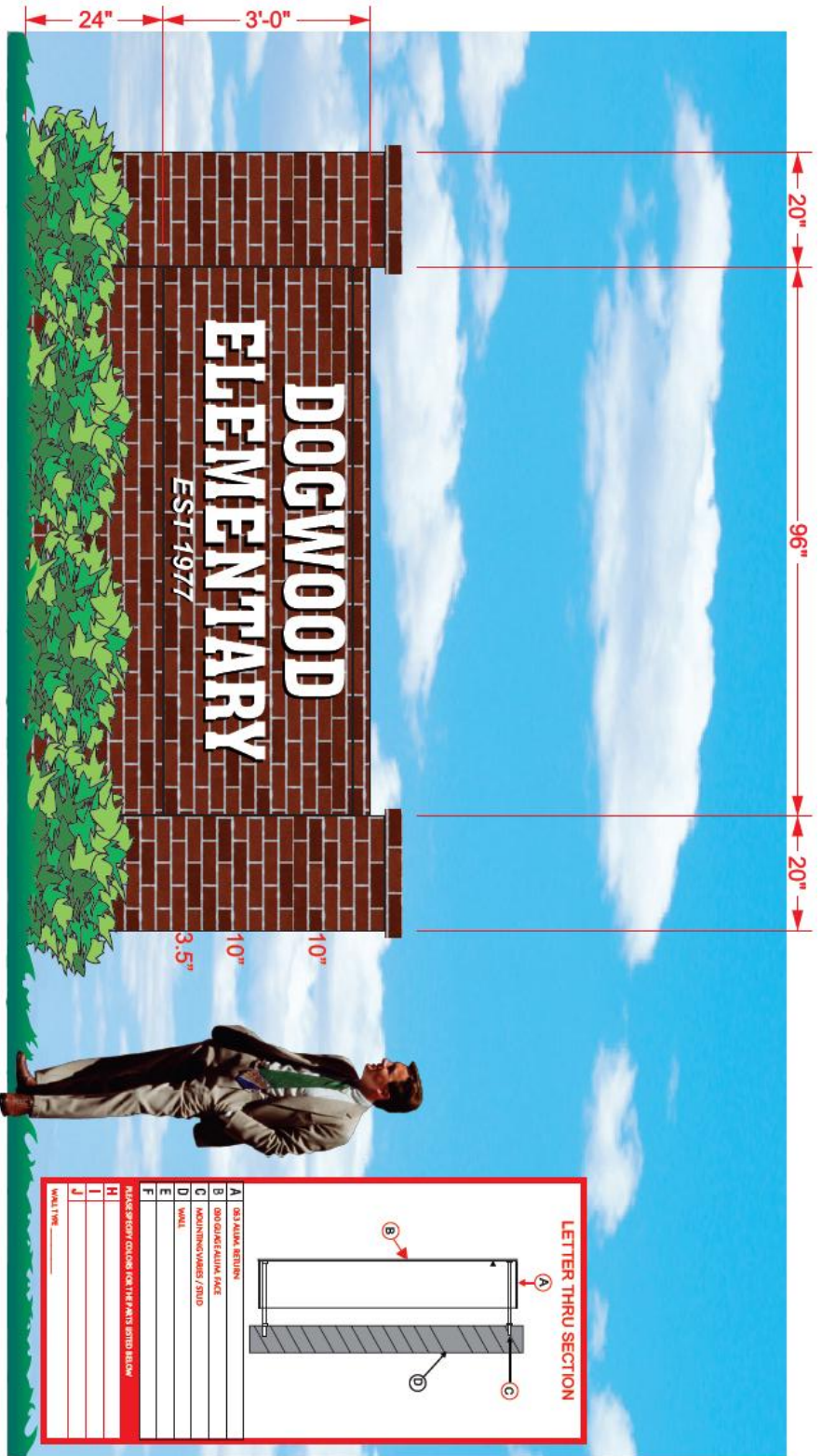
LOCATION OF GROUND-MOUNTED SIGN

8945 Dogwood Rd



50 ft
25

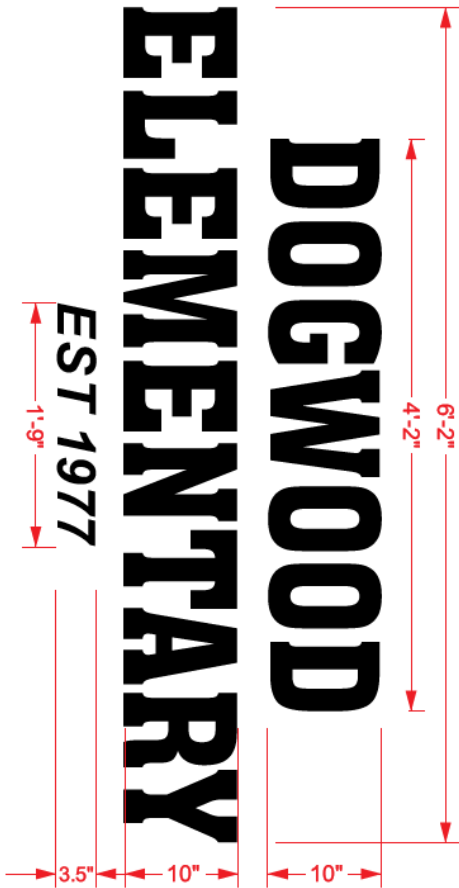




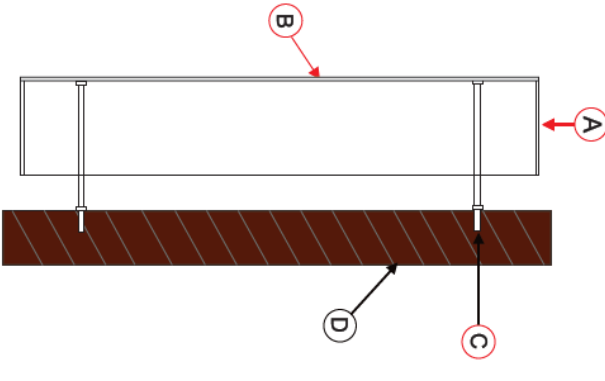
MANUFACTURE AND INSTALL ONE SINGLE SIDED
 NON-ILLUMINATED / DIMENSIONAL COPY STUD MOUNTED DIRECTLY TO BRICK



 <p>THIS DESIGN IS PROTECTED BY THE COPYRIGHT LAWS OF THE UNITED STATES</p>		CUSTOMER'S VEHICLE MARKS LIGHTING NEON ELECTRIC MESSAGE CENTERS FULL COLOR DIGITAL PRINTING Bruce Littman CELL 901-596-3303 bruce@baltonsigns.com	
SKETCH DATE	04/19/2018	DRAWN BY:	SP
SCALE	1/4" = 1'-0"		
FILE NAME	DOGWOOD ELEMENTARY 04-18-18		
PLEASE NOTE: THIS IS AN ORIGINAL DESIGN AND REMAINS THE EXCLUSIVE PROPERTY OF BALTON SIGN COMPANY, LLC. IT IS NOT TO BE DUPLICATED OR REPRODUCED IN ANY MANNER WITHOUT WRITTEN CONSENT. PRIMARY WRITING TO THE SIGN IF APPLICABLE, IS NOT INCLUDED.		3658 SOUTH HAVILL ST. MEMPHIS, TN 38114 PH. 901-452-7371 • FAX 901-458-2637 • BALTONSIGNS.COM	
CREATED FOR	DOGWOOD ELEMENTARY 8645 DOGWOOD RD GERMANTOWN, TN 38139		
ADDRESS			
CLIENT APPROVAL	_____		
LANDLORD APPROVAL	_____		
SIGNATURE DATE	_____		



A	063 ALUM. RETURN
B	090 GUAGE ALUM. FACE
C	MOUNTING VARIES / STUD
D	WALL / BRICK

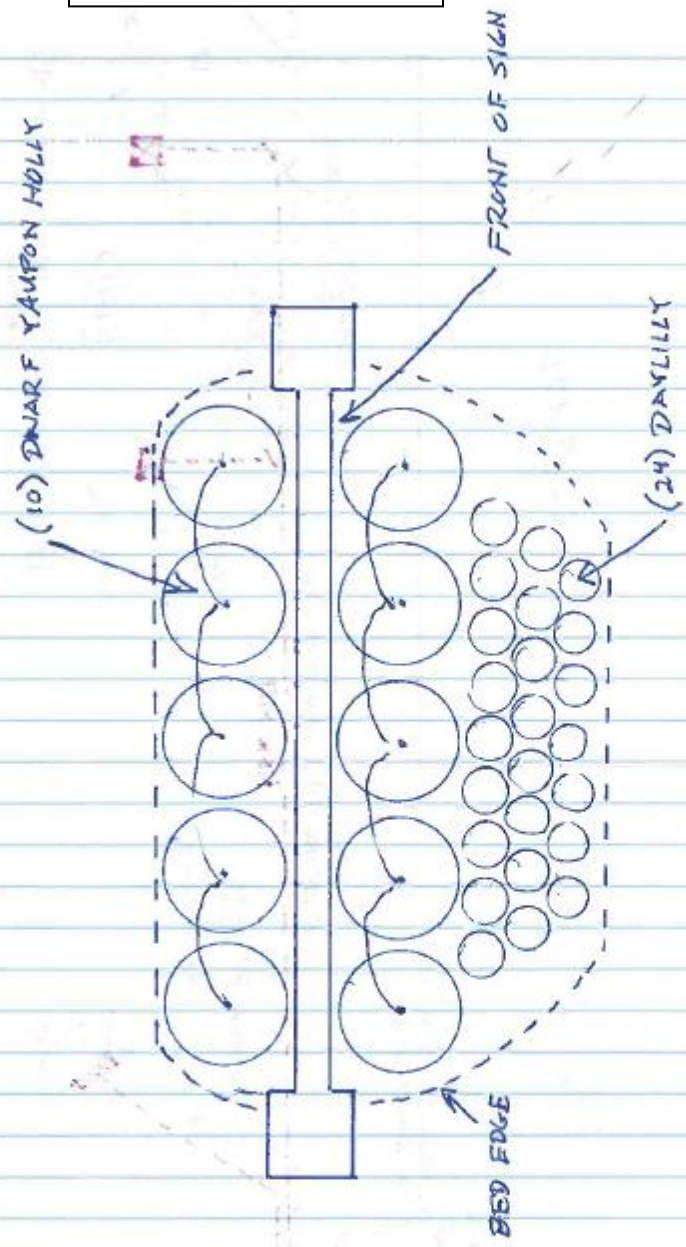


 <p>THIS DESIGN IS PROTECTED BY THE COPYRIGHT LAWS OF THE UNITED STATES</p>		<p>BALTON SIGN CO. CUSTOMERS' WIRELESS LIGHTING, NEON ELECTRIC MESSAGE CENTERS, PALLET COLOR DIGITAL PRINTING Bruce Littman CELL 901-596-3303 bruce@baltonsigns.com 308 SOUTH MAIN ST. ANDERSON, TN 38114 PH. 901-452-7371 • FAX 901-458-2637 • BALTONSIGNS.COM</p>	
SKETCH DATE	04/19/2018	DRAWN BY:	SP
SCALE	1" = 1'-0"		
FILE NAME	DOGWOOD ELEMENTARY 04-18-18		
CREATED FOR DOGWOOD ELEMENTARY 8645 DOGWOOD RD GERMANTOWN, TN 38139		CLIENT APPROVAL _____ LANDLORD APPROVAL _____ SIGNATURE DATE _____	

Please note: This is an original design and remains the exclusive property of Balton Sign Company, LLC. It is not to be duplicated or reproduced in any manner without written consent. Primary writing to the sign if applicable, is not included.

LANDSCAPING PLAN

DOGWOOD ELEMENTARY SIGN
REVISED 4/19/2018





CITY OF GERMANTOWN TENNESSEE

1930 South Germantown Road • Germantown, Tennessee 38138-2815
 Phone (901) 757-7200 Fax (901) 757-7292 www.germantown-tn.gov

DATE RECEIVED: 4/19/2018
 RECEIVED BY: Gtra Low Ste

PERMANENT SIGN APPLICATION (ADMINISTRATIVE/DESIGN REVIEW COMMISSION)

Action Requested (Please circle one): **Administrative Sign Approval / Design Review Commission Approval**
 If request is for administrative sign approval, does this sign meet every criteria included in the sign policy for this location? Yes: No: If no, explain: _____

1. Sign Owner/Tenant: Germantown Municipal School District Phone No: 901-752-7900
2. Sign Owner's/Tenant's Address: 6685 Poplar Ave Suite 202 Email Address: Aaron.Low@GMSDK12.org
3. Sign Location Address and Name of Shopping Center: 8745 Dogwood Rd, Germantown TN 38134
Doyle J Elementary School
4. Zoning District: Commercial ; Residential ; Old Germantown ; Office
5. Sign will be mounted on: Wall ; Ground
6. Type Sign: Tenant Identification Project Identification
 Building Identification Traffic Directional
 Exterior Directory Subdivision Identification
 Service Station Sign Other (If other, explain on separate page)
7. Number of Sign Faces: One ; Two
8. Linear feet of building frontage occupied by business where sign will be located: 350 feet.
 Size of tenant space: 10,000 square feet
9. Size of Sign: Width: 11 feet 4 inches; Height: 5 feet 6 inches
TOTAL AREA OF SIGN IN SQUARE FEET: ~~62~~ 315 (total base area) 48 # (each face 24 #)
10. Height of sign at its highest point above the surrounding grade: 5 feet 6 inches.
11. Size of Letters: 1) Height 10" Width 4 1/2" Font: Aachen
 2) Height 10 Width 4 1/2" Font: Aachen
 3) Height 3.5" Width 1.9" Font: IT Arial
12. Colors: Letters: white SUBMIT COLOR SAMPLES
 Background: Brown (Match school) SUBMIT COLOR SAMPLES
13. Orientation of Sign to the Street: Parallel ; Perpendicular ; Angled
14. Distance sign is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
30 Feet 0 Inches Name of Street: Dogwood RD
 _____ Feet _____ Inches Name of Street: _____
15. Distance building is set back from street curb or edge of pavement (corner lots, provide distance from both streets).
135 Feet _____ Inches Name of Street: Dogwood RD
 _____ Feet _____ Inches Name of Street: _____
16. Sign Content (words, letters, logos): Dogwood Elementary "EST 1927"
17. Size of logo: Horizontal _____ feet _____ inches; Vertical _____ feet _____ inches.
18. Sign Materials: Letters Aluminum; Sign Face Brick + mortar
 Mounting Structure (type and materials): Brick + mortar
19. Sign Illumination, if applicable (type, location and wattage): N/A
20. Sign Landscaping, if applicable landscape plan shall be submitted
21. Additional Comments: Landscaping beds on front and back of monument Sign

d. Bealls Outlet Store – 3150 Village Shops Dr. (Village Shops of Forest Hill) – Approval of a Storefront Façade Modification (Case No. 18-810)

INTRODUCTION:

Case Number: 18-810

Location: 3150 Village Shops Drive

Property Owner: EREP Forest Hills I, LLC

Applicant Name: Lampert Group (Suzzi Grigoryan), Agent

Zoning District: “SC-1” Shopping Center District

Description of Request: Request Approval of a Storefront Façade Modification

*Refer to the Disclosure Form attached for more information



BACKGROUND: The Design Review Commission approved the preliminary and final site plan approval for The Village Shops of Forest Hill Shopping Center on November 20, 1990. On December 4, 1990, the Planning Commission granted approved the final site plan and a grading permit. The Board of Mayor and Aldermen approved Project Development Contracts number 938 and 939 for this center on December 18, 1990. On September 26, 2017, the DRC approval of a revised sign package to increase the number of project directory signs and lighting plan to upgrade the existing lighting for the shopping center.

DISCUSSION: The request is for a storefront façade change to accommodate a proposed tenant locating in a vacant space in the existing shopping center. The plan proposes an overall change to the exterior appearance of this storefront that consists of a combination of new & old brick. Brick that will be removed due to alterations will be saved and reused along with new brick that will match the existing brick on the building. According to the applicant “The façade will be expanded for this new storefront by expanding the middle brick column and installing a new brick column that will match an existing

column on the opposite side of the new store entrance and adding two new decorative columns. The existing arched brick opening will be removed and a new front façade brick cornice will be added to match existing ones throughout the entire shopping center. The modifications also include relocation of two existing light fixtures and use of decorative square tiles as well as a new Stanley single slide entry door and window system. The existing sloped metal roof that covers the walkway will remain except at the expanded façade area.”

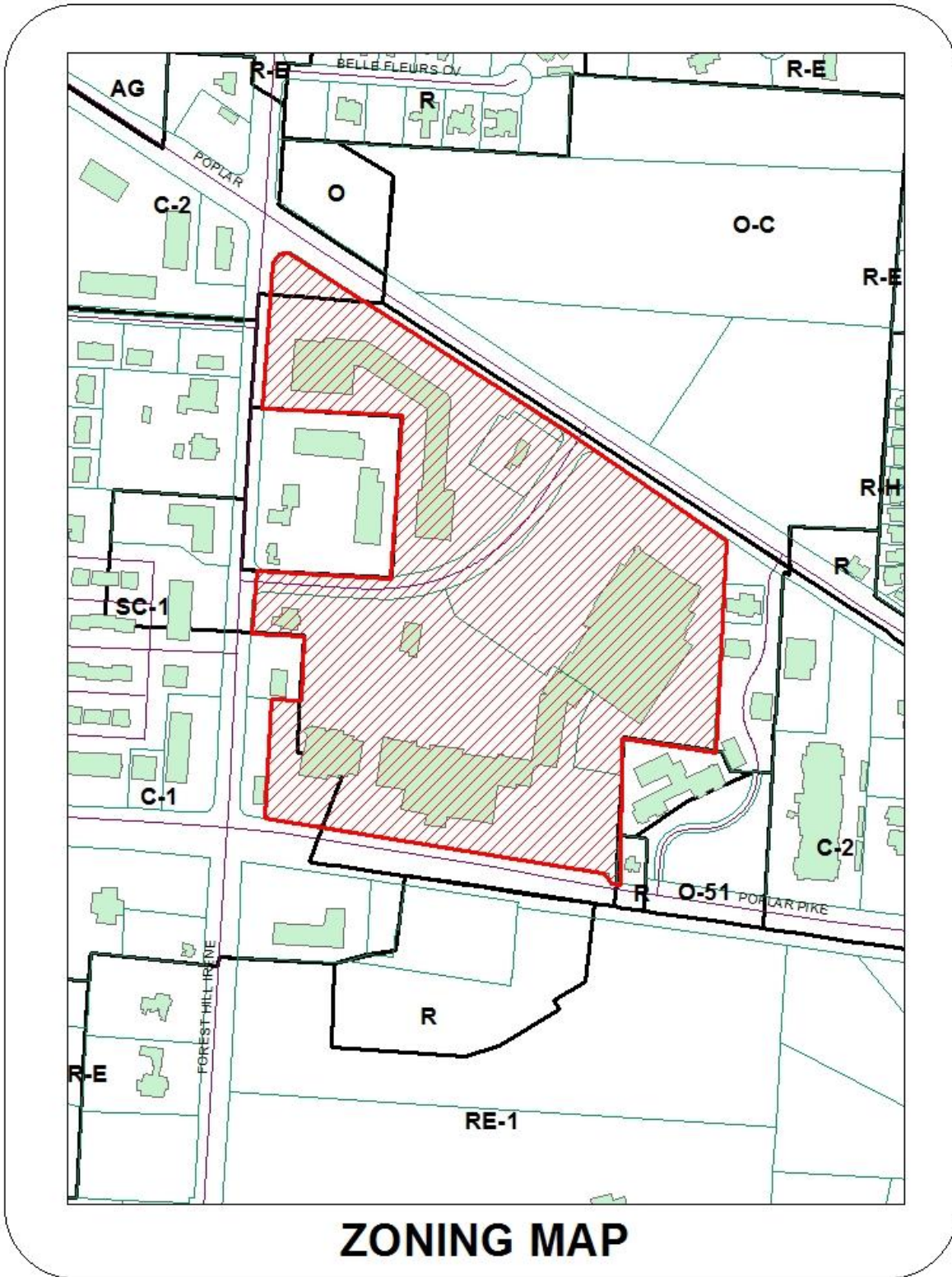
The proposed storefront changes have been approved by the property owners and management. Pictures of the existing conditions, brick samples, and a drawing that shows the proposed new storefront elevations have been provided by the applicant.

STAFF COMMENTS:

1. The proposed façade changes do not appear to impact the landscaping or parking on this site so no changes to these areas are required at this time. Also, these changes will not impact the recent lighting plan revision for this shopping center that was approved by the DRC on September 26, 2017.
2. The applicant has provided the cut sheets for the Stanley Entry doors, which are to have a bronze finish, an image of the EB Thin Brick, 3/4" ceramic glazed tick brick, color #4505 Dill, which will be used only if the existing tile cannot be reused, and an image for Sherwin Williams SW6112 Biscuit paint color to be used on the new and existing columns for the storefront façade. The applicant is working to obtain samples of each of these materials to present to the DRC at the meeting.
3. Although signage is shown on the proposed elevation, it has not been approved at this time. The applicant must file a separate application for signage approval for this project.
4. If approved, the applicant shall obtain a building permit from Shelby County Construction Code Enforcement Office prior to commencing work.

DRC SUBCOMMITTEE REPORT: The DRC Subcommittee met on April 12, 2018, and recommended this item be placed on the consent agenda if the paint and material samples are acceptable for this project.

PROPOSED MOTION: To approve a Storefront Façade Modification for Bealls Outlet Store #166 in The Village Shops of Forest Hills Shopping Center at 3150 Village Shops Drive, subject to the Commission's discussion, staff comments and conditions in the staff report, and the documents and plans submitted with the application.



PDF OF THE PLANS INCLUDED IN DRC PACKAGE





CITY OF GERMANTOWN TENNESSEE

1930 South Germantown Road • Germantown, Tennessee 38138-2815
Phone (901) 757-7200 Fax (901) 757-7292 www.germantown-tn.gov

DATE RECEIVED: 4/18
RECEIVED BY: SR

DESIGN REVIEW COMMISSION PROJECT REVIEW APPLICATION

Specific Approval Requested:

- Preliminary Plan (Site plan, building elevations, landscaping, lighting, etc.) Final Plan Change in Use (Complete "OG" Checklist)
- Wireless Transmission Facility Landscaping (only) Lighting (only)
- Revision/amendment to an approved plan
Description of requested change: _____
- Other; Explain Review of Proposed Facade

Project Name: Balls Outlet Store # 166

Project Address: 3150 Village Shops Drive Germantown, TN 38138

Previous Tenant: Grocery store and small shop

Applicant's Name: Suzzi Grigoryan

Mailing Address: 10061 Riverside Dr. #760, Toluca Lake, CA 91602

Email Address: SNG@LampertGroup.Build Telephone: 310-808-5046

Property Owner's Name: EREP Forest Hills I, LLC

Mailing Address: 515 Congress Avenue, Ste 1925

Email Address: bbonucelli@epicrepartners.com Telephone: 916-834-7853

Developer's Name: EREP Forest Hills I, LLC

Mailing Address: 515 Congress Ave, Ste 1925 Austin Texas 78701

Email Address: bbonucelli@epicrepartners.com Telephone: 916-834-7853

Lessee's Name: Balls Outlet Store

Mailing Address: 700 13th Avenue East I Bradenton, FL 34208

Email Address: FrankD@BEALLSINC.COM Telephone: 941-744-4323

DRC Project Review Application
Page 2

Zoning District where project is to be located: _____

Describe project item(s) to be reviewed: (please attach additional sheets or letter of description if needed)

We are expanding the existing facade from 18'-0" +/- to 36'-0" +/-.
Expanding the middle brick column and installing 1 new brick column (matching existing column on opposite side that is remaining). We are also installing 2 decorative columns (size and material to match existing).
We are removing the existing arched brick opening to provide a continuous new facade for our sign.
New front facade brick cornice will match what is used throughout the entire shopping center. Decorative brick pattern at new facade will match what was done at Sprouts Market (our adjacent tenant).
We are removing and relocating the 2 existing light fixtures at the front facade.
We are reusing if possible (or installing new) decorative square tiles that are used throughout the existing facade and the entire shopping center.
Removing existing storefront windows and the wall below for our new Stanley single slide entry door.
Removing existing entry door and storefront window and installing our new sign box / window.
Existing sloped metal roof that covers the walkway will remain except at expanded facade area.

All applicable parties shown below must sign the application:

<u>Suzzi Grigoryan - VP Development</u> Print Name of Applicant	 Signature of Applicant
<u>Blair Bonuccelli - Director</u> Print Name of Property Owner	 Signature of Property Owner
<u>Blair Bonuccelli - Director</u> Print Name of Developer	 Signature of Developer
<u>Frank DePalma - Director of Construction</u> Print Name of Lessee	 Signature of Lessee

By these signatures, we attest that all of the required information associated with this application has been submitted to the Department of Community Development by the scheduled deadline date. Any failure on our part not to submit any of the required information may result in the removal of the application from the agenda.

DRC Project Review Application
Page 3

DISCLOSURE OF OWNERSHIP INTERESTS

In order to assist staff and appointed and elected officials of the City of Germantown in complying with Ordinances of the City relating to conflicts of interests, the following information is required to be furnished:

1. **For Profit Entities.** If the owner of the land which is the subject of this Application (including all owners, lessees and developers) is a for-profit entity, i.e. individual or sole proprietor, general partnership, limited partnership, corporation, limited liability company, R.E.I.T., a trust, or any other form of for-profit business entity, the authorized representative of the Owner must list below the respective names and business or home addresses of all persons or entities which own 10% or more of the ownership interests in the Owner. (If another business entity owns 10% or more of the ownership interests in the Owner, all persons owning a 10% or more interest in such last mentioned entity must be identified by name and business or home address.) (If a trust owns a 10% or more interest in the Owner, all beneficiaries of 10% or more of the trust assets must be identified by name and business or home address.) The amount of ownership interest does not have to be disclosed.

Applicant: Suzzi Grigoryan
Address: 10061 Riverside Dr. #760 Toluca Lake, CA 91602
Signature of Applicant: [Signature]

Property Owner: EREP Forest Hills I, LLC
Address: 515 Congress Ave, Ste 1925 Austin Texas, 78701
Signature of Property Owner: [Signature]

Lessee: Bealls Outlet Stores, Inc
Address: 700 13th Ave E Bradenton FL 34208
Signature of Lessee: [Signature]

Developer: EREP Forest Hills I, LLC
Address: 515 Congress Ave, Ste 1925 Austin Texas 78701
Signature of Developer: [Signature]

Persons or Entities* Owning 10% or More of the Ownership Interests of the Owner:

Name	Business or Home Address
<u>Epic RE Partners, LP</u>	<u>515 Congress Ave, Ste 1925 Austin TX 78701</u>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

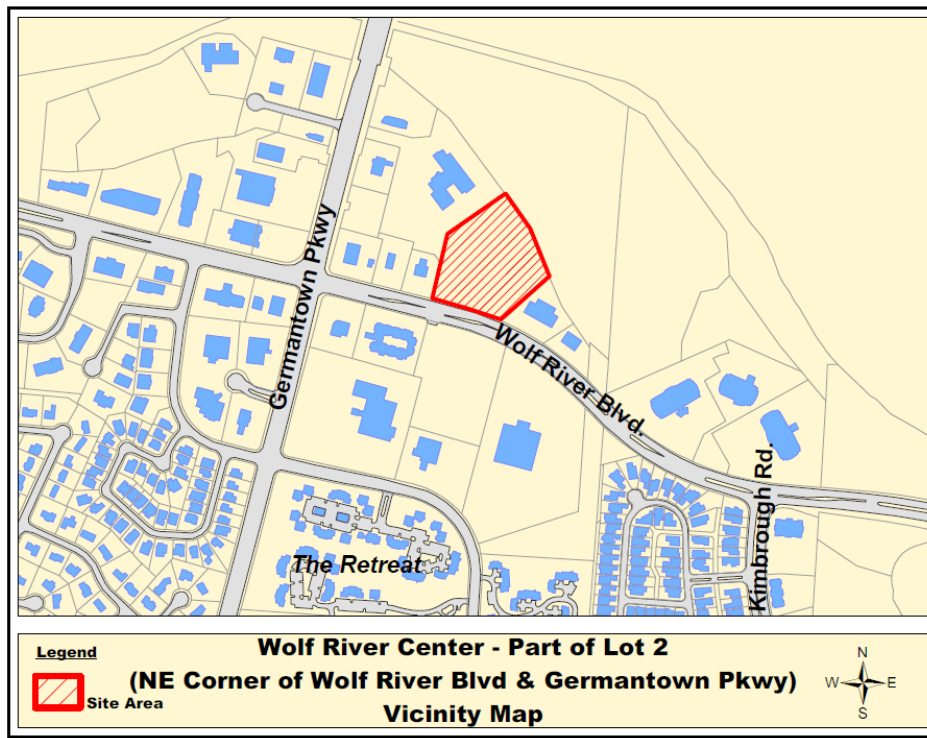
*See language in parenthesis above.

- e. Avenida Senior Living – Phase 1, First Addition – NE Corner of Wolf River Blvd. and Germantown Pkwy – Approval of a Preliminary and Final Site Plan for a 162 unit Independent Living Facility. Previously Known as Agenda Item No. 5

INTRODUCTION:

Case Number	17-705
Location:	Part of Lot 2 – Wolf River Center – Phase 1, First Addition – NE Corner of Wolf River Blvd. & Germantown Pkwy
Property Owner:	Baptist Memorial Healthcare Corp. – Zach Chandler
Developer/Applicant:	Avenida Partners Development Group, LLC – Robert Muirhead
Current Zoning District:	“R-H” Retirement Housing
Description of Request:	Preliminary and Final Site Plan Approval for a 162-unit Senior Independent Living Facility

*Refer to the Disclosure Form attached for more information



BACKGROUND: On August 3, 2004, the Planning Commission gave preliminary and final site plan approval for plans to demolish an existing Walmart building and subdivide the site into six lots. On July 22, 2013, the Board of Mayor and Aldermen approved Project Development Contract No. 1183 for Baptist Rehabilitation Hospital on a portion of Lot 2. The current subject parcel, which is part of Lot 2, has remained vacant. On April 4, 2016, the Planning Commission recommended approval of rezoning of the subject property from “C-2” General Commercial to “R-H” Retirement Housing.

On November 14, 2017, the Board of Zoning Appeals approved three variances for the property, subject to the rezoning to “R-H,” namely to allow: 1) a building height no greater than 51’ (as measured to the mid-point of a gable roof); 2) surface parking in the required front, side and rear yard setbacks which are 25’ in the front yard, 15’ in the east side yard and 10’ in the west side and rear yards (but not in any

landscape screen or buffer areas); and 3) accessory structures (specifically one-story garages) to be located 10' from the west side and rear property lines, and 15' from the east side property line.

On November 27, 2017, the Board of Mayor and Alderman approved the rezoning of this property from "C-2" General Commercial to "R-H" Retirement Housing on the third and final reading. On March 6, 2018, the Planning Commission approved the preliminary and final site plan of this project, with the request that the Design Review Commission conduct a thorough review of the architecture and landscaping of the project.

On March 27, 2018, the Design Review Commission reviewed this project at their regular meeting and requested that the applicant revise the design to create a more prominent and unique façade along Wolf River Blvd. The applicant presented revised drawings at the Design Review Commission Subcommittee meeting on April 12, 2018. The Commission requested that the applicant create a more prominent, iconic pedestrian entrance on Wolf River Blvd.

DISCUSSION: The applicant (Avenida) is proposing a senior independent living facility that would be comprised of 162 rental apartment units, pursuant to Section 23-352 (congregate housing). Per the applicant, the facility would be age-restricted to residents 55 years and older, as will be recorded with a deed restriction. The proposed project would consist of an approximately 187,000 s.f. main/residential building, 179 parking spaces (including surface parking and 4 garage buildings), and 3 amenity areas (courtyard, pool and terrace). The main entrance to the facility would be located internally, and a majority of the site is proposed to be gated.

Per Section 23-352(1), a congregate care facility shall provide a minimum of 35% open space. However, per a dedication and easement agreement between the property owner and the city in 1994 related to this specific property: "the City, and its boards and commissions, will permit the Area to have and be developed with an impervious area of not less than 80% of the Area. Development of the Area will otherwise conform to all applicable governmental requirements relating to landscaping and setbacks." The proposed project conforms to the 20% minimum open space requirement per this agreement.

TOTAL SITE AREA	5.284 ac.
TOTAL NUMBER OF UNITS	162 apartments
BUILDING FLOOR AREA	200,570 s.f.
<i>Main/residential buildings</i>	<i>187,000 s.f.</i>
<i>Garages</i>	<i>13,570 s.f.</i>
TOTAL MAXIMUM BUILDING COVERAGE	29.4%
MAXIMUM PROPOSED BUILDING HEIGHT	51' (3-4 stories)
<i>Main/residential buildings</i>	51'
<i>Garages</i>	<i>Not provided</i>
TOTAL PROPOSED OPEN SPACE	21%
NUMBER OF PARKING SPACES REQUIRED	169
NUMBER OF PARKING SPACES PROVIDED	180
<i>Resident Parking</i>	<i>173</i>
<i>(Garage Parking)</i>	<i>(48)</i>
<i>(Surface Parking)</i>	<i>(125)</i>
<i>Staff Parking (Surface Parking)</i>	<i>7</i>
NUMBER OF BICYCLE PARKING SPACES	<i>Not provided</i>

The following checklist describes the characteristics of each part of the property.

DESIGN REVIEW COMMISSION CHECKLIST:

1. *Site Layout:* The new independent living facility will consist of one pentagon-shaped building with an interior courtyard. It is proposed to be gated, with the main entrance located in the internal courtyard. The façade facing Wolf River Blvd. will have a pedestrian entrance onto the site and a second building entrance for residents only. Surface parking will be placed along the perimeter of the building, with 4 garage buildings lining the sides and rear of the property.
2. *Building Elevations:* Building materials for the 4-story apartment complex consist of two shades of brick and cement board lap siding, with cement board panels. Consistent with the recommendation in the Design Review Manual (3.2-4), a majority of the façade will be of a natural material (brick). The breakdown of materials is listed on the elevation drawings, and ranges from 70% brick/30% cement fiber siding on the Wolf River Blvd. elevation, to 50% brick/50% cement fiber siding on the north elevation. Samples of the building materials, doors and windows are provided on a sheet of the drawings. (Details of the shutters on the garage elevations have not been provided, but shall be submitted with the construction plan submittal for approval by the Planning Division.)
3. *Street Improvements and Curb Cuts:* No street improvements or new curb cuts are being proposed as part of this project. (The Wolf River Blvd.-Germantown Pkwy. Road widening project will not affect this site.) Sidewalks are already existing along Wolf River Blvd. in front of this property.
4. *Impervious/Pervious Area Percentage:* 79%/21%.
5. *Parking Lots:* 180 parking spaces are provided, 48 of which will be inside garages. The remaining 132 spaces will be surface parking. The surface parking layout conforms with the Design Review Manual (3.4 -1), “parking areas should be organized as a series of small parking bays with planted islands separating them. No more than 10 contiguous parking spaces are recommended.”
6. *Exterior Lighting:* The applicant provided information on the overall site plan photometrics and examples of the lighting fixtures. No lighting is proposed at the driveway entrance to the site from Wolf River Blvd. Decorative lighting has been added to the brick columns on the pedestrian entrance feature on Wolf River Blvd. A photometric analysis has been provided and conforms to the Design Review Manual policy 3.5-2. Lighting fixtures on the exterior of the building have been shown on the building elevation drawings. The applicant has submitted fixture cut sheets.
7. *Garbage Collection Area:* The garbage collection area is shown in the northern corner of the site. The combined garbage and generator enclosure is brick with screened metal gates facing the building. A detail drawing has been provided in the plan set. (The applicant shall clarify how trash will be stored and collected for each individual unit.)
8. *Vents:* Vents are shown on the building elevations and will be painted to blend with the façade finish.
9. *Gas, Electric and Water:* All meters shall be screened from public view. Details have not been provided, but shall be submitted with the construction plan submittal for approval by the Planning Division.
10. *Mechanical Units:* The individual mechanical units are contained in each apartment. The condensing units serving the common areas are located in roof wells facing the courtyard and will not be visible from the exterior.
11. *Emergency Generators:* A convenience generator is planned (not for emergency systems), and will be co-located within the dumpster enclosure. A cut sheet for the generator has been provided.

12. *Landscaping*: A landscaping plan for the site has been provided as part of the application submittal.
13. *Mailboxes*: The mail room is located within the building on the ground floor.
14. *Signs*: No signage is proposed as part of this application. All signage will have to be approved by the DRC by a separate application.

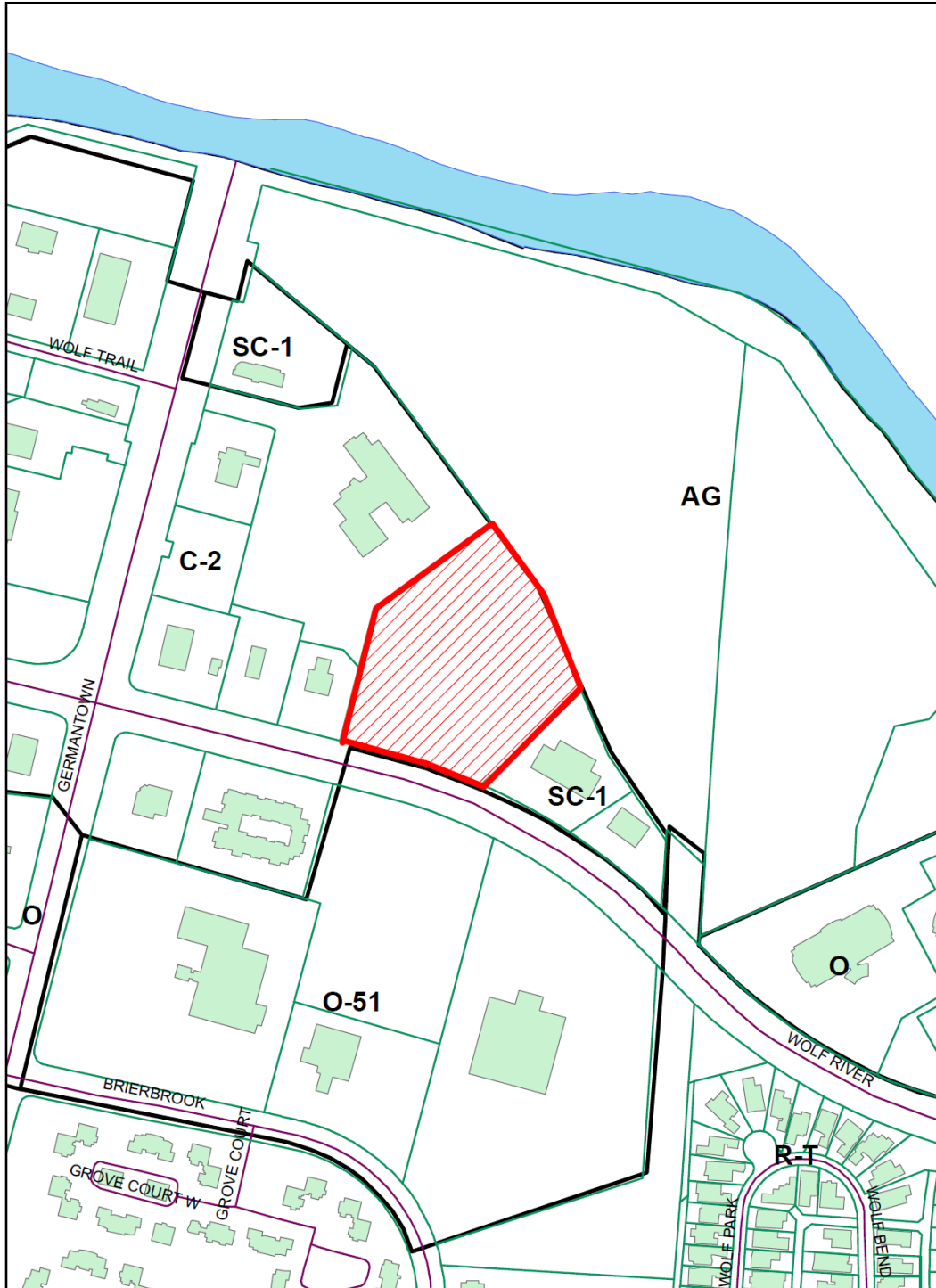
STAFF COMMENTS:

1. The proposed project is consistent with the following policies from the Design Review Manual 3.2: Building Form and Materials:
 - a. 3.2 -1: “Lengthy unbroken facades should be avoided.”
 - b. 3.2 – 3: “An essential characteristic of Germantown architecture is a traditional appearance of building walls and openings... Buildings have “faces” on the street.”... “Architectural elements such as doorways, dormers, gables, porches and the like can effectively articulate facades and reduce the scale of larger structures.”
 - c. 3.2 – 4: “Natural materials are preferred, such as brick, stone and wood.”
 - d. 3.4 – 1: “In residential areas, ...all parking areas should be screened from public view.”
2. The applicant has added a pedestrian entrance feature on Wolf River Blvd., which consists of a steel gable, brick columns and lamps. The steel gable is an architectural feature repeated throughout the development (Please see revised architectural plans.)
3. The applicant has provided perimeter photos of the existing landscaping surrounding the site (see agenda packet).
4. As part of this application request, the DRC will be considering approval of a perimeter fence and gates, including an entrance feature, with the following specifications:
 - a. Black wrought iron (6’ high) tall with brick columns (7’6” high, including masonry cap)
 - b. Black metal automated gate (6’ high) located on the interior of the site
 - c. Entrance feature consisting of a steel gable (15’4”), brick columns (10”) and lamps.
 - d. The applicant shall work with the Fire Department on final approval of the gates, prior to construction plan approval.
5. The detail drawing of the pedestrian entrance feature (p. L5.2 of the landscape plans) shall be revised to correctly show the lamps on the brick columns (as depicted in the architectural drawings).
6. Should construction plan review show any detail changes from the final plans approved by the DRC, the applicant must submit changes to Planning Division staff to determine what level of review will be required.
7. Following DRC approval, the applicant shall submit a set of complete, revised plans to Planning Division staff for their records, should additional revisions be requested by the DRC.

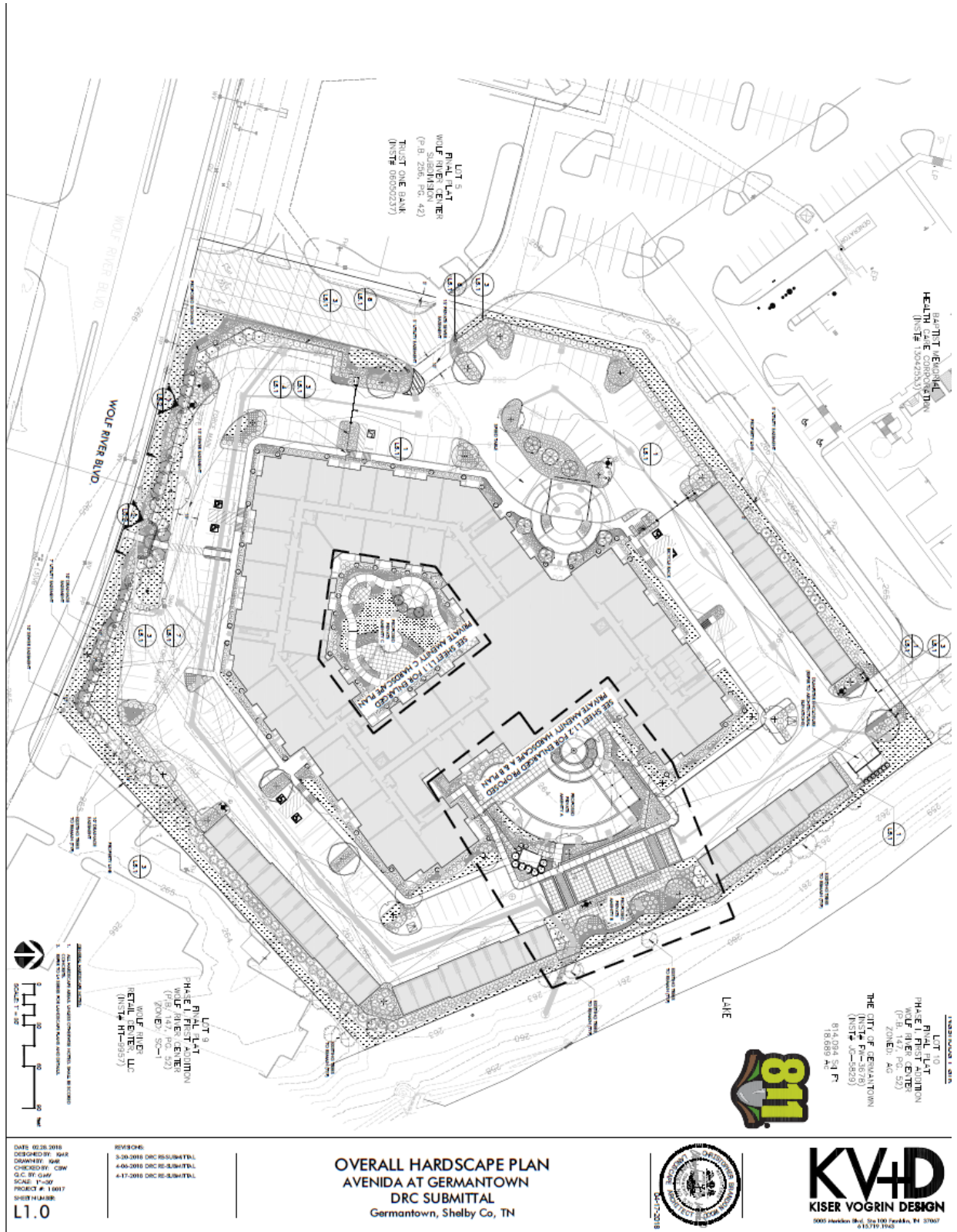
RESUBMITTAL REVISIONS: *The Design Review Commission reviewed this application at their subcommittee meeting on April 12, 2018, and requested that the applicant revise their request to: 1) create a more prominent and iconic pedestrian entrance along Wolf River Blvd.; and 2) revise the color of the “eyebrow” vents to be gray. The applicant has done this. (Please see revised plans.)*

DRC SUBCOMMITTEE REPORT: The DRC Subcommittee met on April 12, 2018, and requested the applicant revise the pedestrian entrance feature off Wolf River Blvd. to be more prominent and iconic. The applicant has provided a revised submittal.

PROPOSED MOTION: To approve a preliminary and final site plan, to be completed in one phase, for a 162-unit senior independent living facility (Avenida Senior Living), located on Part of Lot 2 – Wolf River Center – Phase 1, First Addition – NE Corner of Wolf River Blvd. & Germantown Pkwy., subject to the Board’s discussion, staff comments and conditions in the staff report, and the documents and plans submitted with the application. As part of the approval, the plans shall be revised to remove the gabled architectural feature over the columns of the pedestrian entrance along Wolf River Blvd.



ZONING MAP



DATE: 02.28.2018
 DESIGNED BY: KVD
 DRAWN BY: KVD
 CHECKED BY: CWV
 S.C. BY: GWV
 SCALE: 1"=30'
 PROJECT #: 116017
 SHEET NUMBER:
L1.0

REVISIONS:
 3-06-2018 DRC RESUBMITTAL
 4-06-2018 DRC RESUBMITTAL
 4-17-2018 DRC RESUBMITTAL

**OVERALL HARDSCAPE PLAN
 AVENIDA AT GERMANTOWN
 DRC SUBMITTAL**
 Germantown, Shelby Co, TN



AERIAL VIEW

(Refer to complete plan set for all elevation and architectural drawings)



VIEW FROM NESHOPA LAKE
(Refer to complete plan set for all elevation and architectural drawings)



WOLF RIVER BLVD. FAÇADE

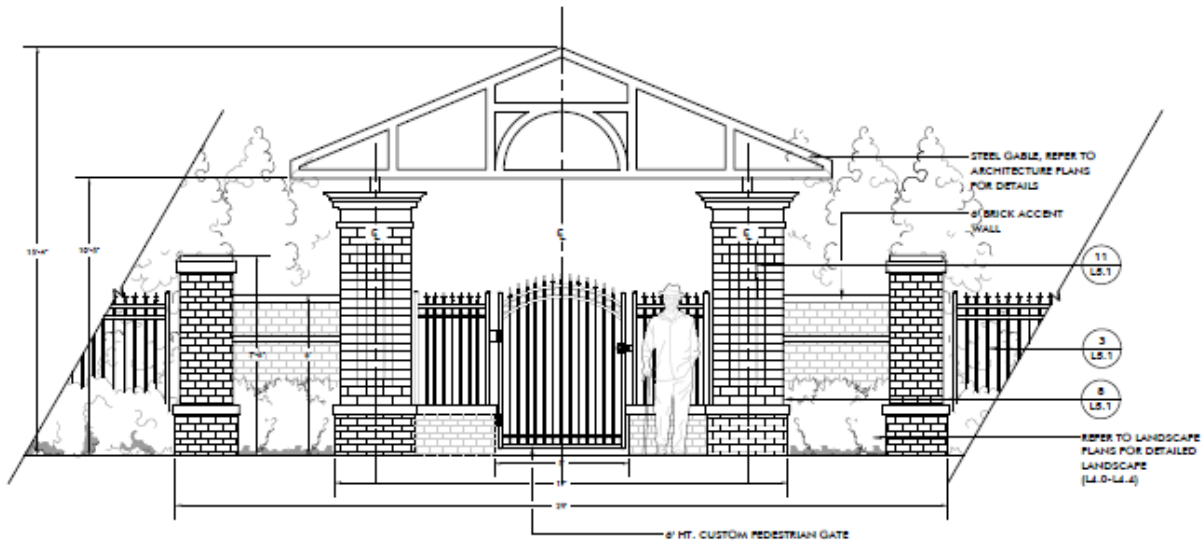
(Refer to complete plan set for all elevation and architectural drawings)

NOTE: Steel gable to be removed. Applicant to submit revised plans.



PEDESTRIAN ENTRANCE FEATURE – WOLF RIVER BLVD.

NOTE: Steel gable to be removed. Applicant to submit revised plans.





Tuesday, February 27, 2018

Mr. Cameron Ross
Economic and Community Development Director
City of Germantown
1920 South Germantown Road
Germantown, TN 38138

Re: Avenida Germantown - DRC Submittal – Wolf River Center - Part of Lot 2 – 5.284 acres
TRF Project Number: 16-0172-1

Dear Mr. Ross:

On behalf of Avenida Partners (developer) and Baptist Memorial Healthcare Corporation (current property owner), The Reaves Firm is pleased to submit this package of information for Design Review Commission review and approval.

The property in question is the remaining 5.284 acres of Lot 2 as shown on the Final Plat for Phase 1, First Addition of the Wolf River Center as recorded in Plat Book 147, Page 52. Lot 2 was originally developed as a Wal-Mart retail store in the mid 1990's and existed on this site until their departure in 2003. Located between two of the region's largest hospitals, Baptist Hospital to the west and Methodist Hospital to the south, this area has since transformed from a commercial area into a thriving and robust Medical Gateway Community for the City of Germantown. Nationally recognized medical providers such as Campbell Clinic, West Cancer Center, Stern Cardiovascular, Sutherland Cardiology Clinic and Baptist Rehabilitation are all located within a 2 mile radius of this site.

Avenida Partners is currently focused on serving the needs of the rapidly growing senior housing market through the development of active, independent living communities designed and managed exclusively for today's healthy senior. We believe that this site is well placed in the Medical Gateway and would serve as an excellent location for a senior housing facility. Proximity to medical care, entertainment, retail shopping opportunities, and the parks and greenbelt system in Germantown all make this a very attractive site for the facilities active residents.

Avenida Germantown is a proposed 162 unit Independent Living Facility for residents who are 55 and over. The property will have 132 surface parking spaces and 48 individual garage units for residents who wish to park their vehicles in a weather proof shelter.

The subject property has recently been re-zoned to R-H (Retirement Housing) by the Germantown Planning Commission and the Mayor of Board and Aldermen. The following variances to the City of Germantown Code of Ordinances have also been granted by the Board of Zoning Appeals:

Section 23-352(6) – Variance to allow Building Height in excess of the 35 foot maximum

Owner/Developer were granted a building height variance to allow a height no greater than 4 stories or 51 feet as measured from the surrounding grade to a point midway up the pitched roof of the building.

Section 23-352(7) – Variance to allow parking in the required front, side and rear yards

Owner/Developer were granted a variance to allow parking to be located within areas required for perimeter front, side and rear yards. In no case shall parking be allowed in any areas designated or set aside for landscape screens or buffers.

Section 23-352(8) – Variance to allow Accessory Structures closer to the property lines

Owner/Developer were granted a variance to allow Accessory Structures/Enclosed Resident Parking Garages to be located the following distances from the property lines:

West property line – 10 foot Accessory Structure Setback (5' from 5' utility easement)

North property line - 10 foot Accessory Structure Setback (5' from 5' utility easement)

East property line – 15 foot Accessory Structure Setback (adjacent to 5' utility easement and existing 10 foot drainage easement)

Additionally, the applicant would like to request a wavier from **Section 22-107(c) of the Tree Ordinance:**

Replacement requirements/dedication of off-site trees. Any tree removed from an approved development shall be replaced at a ratio equal to the number of inches contained in the diameter of the tree removed. For example, if a 24-inch tree is removed, eight trees with a DBH of three inches will be required to replace the tree which was removed. If the owner cannot accommodate the replanting of such replacement trees on the subject tract, the owner shall be required to dedicate the required replacement trees to a public property approved by the parks and recreation department.

This project will require the removal of 16 total trees from the site. 12 of those are pine trees totaling 188 inches and 4 are hardwood trees totaling 36 inches. 224 inches of trees mitigated at a factor of a minimum of 3 inches per replacement tree would equal 75 trees to be replaced. The landscape plans submitted in this package propose the replacement of 39 trees leaving a deficit of 36 trees. Understanding that there is no established tree mitigation bank or area set aside in the City of Germantown for tree mitigation, we request that the replacement of the 36 additional trees be waived.

The design team for this project is as follows:

Civil Engineering:

The Reaves Firm, Inc.
Greg Bartlett, P.E.
6800 Poplar Avenue, Suite 101
Memphis, TN 38138
901.761.2016

Architect:

Lord Aeck Sargent
Meg Kautz Needle, AIA
1175 Peachtree Street NE, Suite 2400
Atlanta, GA 30361
404.253.1467

Landscape Architect:

Kiser Vogrin Design
Dwight Kiser
505 Meridian, Suite 100
Franklin, TN 37067
615.813.0862

Site Lighting:

Jordan & Skala Engineers
Timothy Milan, P.E.
4275 Shackleford Road
Norcross, GA 30093
770.447.5547

Any questions or comments related to a specific discipline should be addressed to the above mentioned professionals.

Thank you for your thoughtful consideration regarding this matter. The Avenida Project team look forward to answering any questions that you might have.

Sincerely,

A handwritten signature in blue ink, appearing to read "Greg Marcom".

Greg Marcom
The Reaves Firm, Inc.



CITY OF GERMANTOWN TENNESSEE

1930 South Germantown Road • Germantown, Tennessee 38138-2815
Phone (901) 757-7200 Fax (901) 757-7292 www.germantown-tn.gov

DATE RECEIVED: _____
RECEIVED BY: _____

DESIGN REVIEW COMMISSION PROJECT REVIEW APPLICATION

Specific Approval Requested:

- Preliminary Plan *(Site plan, building elevations, landscaping, lighting, etc.)* Final Plan Change in Use
(Complete "OG" Checklist)
- Wireless Transmission Facility Landscaping (only) Lighting (only)
- Revision/amendment to an approved plan
Description of requested change: _____
- Other; Explain _____

Project Name: Avenida Germantown

Project Address: part of Lot 2 - Wolf River Center - Phase I, First Addition

Previous Tenant: Wal-Mart

Applicant's Name: Avenida Partners

Mailing Address: 130 Newport Center Drive, Suite 220 - Newport Beach, CA 92660

Email Address: RMurihead@AvenidaPartners.com Telephone: 949-357-1431

Property Owner's Name: Baptist Memorial Healthcare Corporation

Mailing Address: 350 N. Humphreys Boulevard - Memphis, TN 38120

Email Address: Zach.Chandler@BMHCC.org Telephone: 901.227.5137

Developer's Name: Same as Applicant

Mailing Address: _____

Email Address: _____ Telephone: _____

Lessee's Name: N/A

Mailing Address: _____

Email Address: _____ Telephone: _____

DRC Project Review Application
Page 2

Zoning District where project is to be located: R-H

Describe project item(s) to be reviewed: *(please attach additional sheets or letter of description if needed)*

162 unit Senior Independent Living Facility (55 and above)

Full DRC Review - Building Elevations, Landscaping, Site Lighting, etc.

All applicable parties shown below must sign the application:

Robert May - Avenida Partners

Print Name of Applicant


Signature of Applicant

Zach Chandler - BMHCC

Print Name of Property Owner


Signature of Property Owner

Robert May - Avenida Partners

Print Name of Developer


Signature of Developer

N/A

Print Name of Lessee

Signature of Lessee

By these signatures, we attest that all of the required information associated with this application has been submitted to the Department of Community Development by the scheduled deadline date. Any failure on our part not to submit any of the required information may result in the removal of the application from the agenda.

DISCLOSURE OF OWNERSHIP INTERESTS

In order to assist staff and appointed and elected officials of the City of Germantown in complying with Ordinances of the City relating to conflicts of interest, the following information is required to be furnished:

1. **For-Profit Entities.** If the Applicant (including all owners, lessees and developers) submitting this Application ("Applicant") is a for-profit entity, i.e. sole proprietor, general partnership, limited partnership, corporation, limited liability company, RE.I.T., a trust, or any other form of for-profit business entity, the authorized representative of the Applicant must list below the respective names and business or home addresses of all persons or entities which own 10% or more of the ownership interests in the Applicant. (If another business entity owns 10% or more of the ownership interests in the Applicant, all persons owning a 10% or more interest in such last mentioned entity must be identified by name and business or home address.) (If a trust owns a 10% or more interest in the Applicant, all beneficiaries of 10% or more of the trust assets must be identified by name and business or home address.) The amount of ownership interest does not have to be disclosed.

Applicant: Baptist Memorial Healthcare Corp.
Address: 350 N. Humphreys Blvd. Memphis, TN 38120
Signature of Applicant: See Not for Profit Page for Signature

Property Owner: Baptist Memorial Healthcare Corp.
Address: 350 N. Humphreys Blvd. Memphis, TN 38120
Signature of Property Owner: See Not for Profit Page for Signature

Lessee: _____
Address: _____
Signature of Lessee: _____

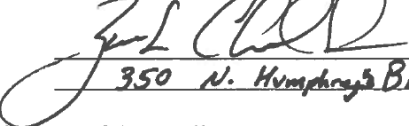
Developer: Avenida Partners Development Group, LLC
Address: 130 Newport Center Drive, Suite 220 Newport Beach, CA 92660
Signature of Developer: _____

Persons or Entities Owning 10% or More of the Ownership Interests of the Applicant:

Name	Business or Home Address
<u>Robert May</u>	<u>130 Newport Center Drive, Suite 220 Newport Beach, CA 92660</u>
<u>Peter Belcher</u>	<u>Same as Above</u>
<u>Stephen Duffy</u>	<u>Same as Above</u>
_____	_____

- 2. **Not for Profit Entities.** If the Applicant (including all owners, lessees and developers) submitting the Application ("Applicant") is a not for profit entity, the authorized representative of the Applicant must list below the name and business or home address of the President (or equivalent chief executive officer) and the members of its board of directors:

Applicant: Baptist Memorial Healthcare Corp. - Zach Chandler - Executive VP, CSO
 Address: 350 N. HUMPHREYS BLVD, MEMPHIS, TN 38120

President or Equivalent
 Chief Executive Officer:
 Address:  EVP, CSO
350 N. Humphreys Blvd, Memphis, TN, 38120

Members of the Board of Directors of the Applicant:

Name	Business or Home Address
<u>Jason Little</u>	<u>President & Chief Executive Officer</u>
<u>Dr. Paul DePriest</u>	<u>Ex VP & Chief Operating Officer</u>
<u>Zach Chandler</u>	<u>Ex VP & Chief Strategy Officer</u>
<u>Gregory Duckett</u>	<u>Sr. VP & Chief Legal Officer</u>

350 N. Humphreys Blvd. Memphis, TN 38120

Note that approval of the application is based upon information provided herein and any change in this information including any change in ownership interests of the subject real property, after filing the application may result in reconsideration of any approval.

The Applicant/Owner/Lessee acknowledges and agrees that if the developer of a project is not the owner of the subject real property, the owner/lessee and developer shall be required to join in the project development contract with the City and the obligations of the project development contract shall be the joint and several obligations of the developer, owner, and lessee.

New Business: Chairman Bruns welcomed 2 of the Play Like A Champion Members (Sarah Blackwell and Michele Forbert) to our meeting.

ADJOURNMENT

There being no further business, comments, or questions by the Commission, the Chairman adjourned the meeting at 6:06 p.m.