

**PLANNING COMMISSION MEETING
MUNICIPAL CENTER COUNCIL CHAMBERS
Tuesday, April 3, 2018**

The regular meeting of the Planning Commission was scheduled and held in the Council Chambers of City Hall on April 3, 2018. Regular meetings of the Planning Commission are broadcast and recorded electronically. Minutes reflect a summary of the proceedings and actions taken.

1. Chairman Harless welcomed everyone and called the meeting to order at 6:00 p.m.
2. Pam Rush called the roll of the Commission and established a quorum.

Commissioners Present: Alderman Forrest Owens, Keith Saunders, Mike Harless, Sherrie Hicks, David Clark, Rick Bennett, and Dike Bacon

Commissioners Absent: Mayor Mike Palazzolo, and George Hernandez

Staff Present: Cameron Ross, Tim Gwaltney, Jody Dwyer, Sheila Pounder, Sarah Goralewski, Chas Higgins, (PC Attorney) and Pam Rush

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3. Chairman Harless stated for those people who just arrived, tonight's agenda is on the front table. There are no changes in the agenda tonight.

4. Approval of Minutes for March 6, 2018:

Chairman Harless stated that the next order of business is the approval of the minutes for the March 6, 2018, meeting. If there are no additions, corrections or deletions to the minutes of March 6, 2018, meeting of the Planning Commission, he would entertain a motion for approval.

Mr. Bacon moved to approve the Planning Commission minutes of March 6, 2018, seconded by Mr. Saunders.

Chairman Harless asked for a roll call.

Roll Call: Hicks – yes; Saunders – yes; Hernandez – absent; Bacon – yes; Harless – yes; Owens – yes; Clark – abstain; Bennett –abstain; Palazzolo - absent. **The motion passed.**

5. The Shops of Saddle Creek South P.D, Outline Plan Amendment, and Revised Final Plan Approval

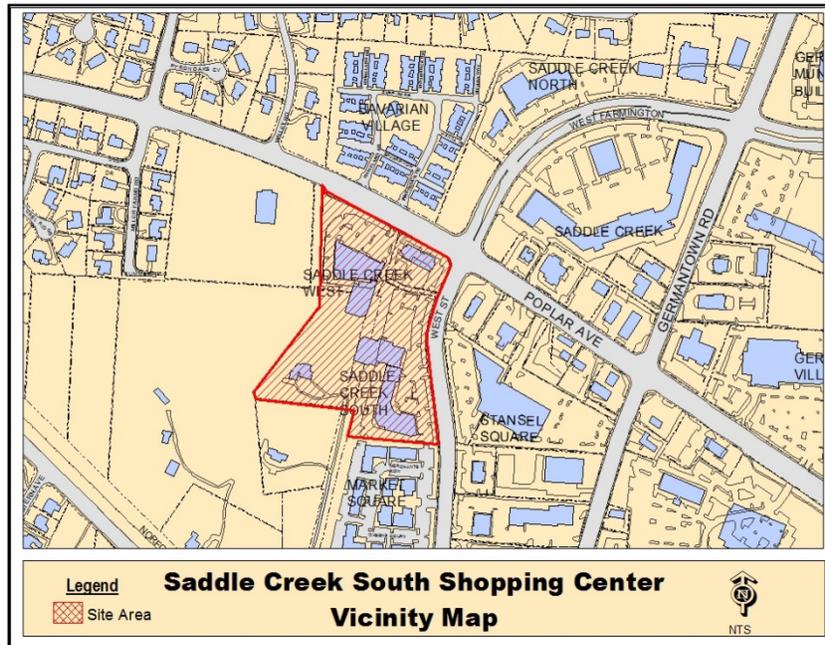
Mr. Ross made a presentation of the application to the Planning Commission.

INTRODUCTION:

Development Case Number:	14-475
Case Name:	The Shops of Saddle Creek Planned Development
Location:	Southwest corner of Poplar Avenue and West Street
Owner Name:	The Shops of Saddle Creek, Inc. (Mark Hudgins, Vice President)
Applicant/Developer:	Chris Herman, Vice President of Construction w/ Trademark Properties

	Company
Representative:	Lindsey Hearon w/Kimley-Horn
Zoning District:	“T5” Urban Center (utilizing the underlying SC-1 Zoning District)
Area:	2.00 acres
Request:	Outline Plan Amendment and Revised Final Plan Approval for a Parking Lot Expansion

**Refer to the Disclosure Form attached for more information*



BACKGROUND: The subject property is in the Saddle Creek South shopping center, which was originally approved by the Planning Commission and the Board of Mayor and Aldermen in 1987. The revised site plan for the Saddle Creek South Shopping Center was approved by the Planning Commission on December 3, 2013, and by the Design Review Commission on December 17, 2013. The Board of Mayor and Alderman approved the development contract on January 27, 2014.

The currently approved Planned Development granted the following exceptions to the standard development regulations:

1. Proposed Building D is located 10 feet from Poplar Ave. and 60 feet from West St., where the standard setback from Poplar Ave. is 60 feet.
2. The plan proposes 9 ft. by 18 ft. parking stalls (162 sq. ft.) where the standard size is 180 sq. ft. (9 by 20 or 10 by 18).
3. The plan proposes a total of 416 parking spaces, where the SC-1 district requires a minimum of 444 parking spaces.
4. The plan proposes truck-loading areas that are less than the standard 10 ft. by 55 ft. area required by the Zoning Regulations.

DISCUSSION: The current request is to revise the existing site plan to add 50 new parking spaces with the construction of a parking deck in the southwest corner of the site adjacent to the dead-end portion of McVay Road. The new parking would be for the exclusive use of employees and for valet parking. The approval of this parking lot expansion will bring the site into conformance with the parking standards required for the SC-1 District.

TOTAL PROJECT SITE AREA	2.00 ac.
NUMBER OF PARKING SPACES	444 Required (1 space/5 seats) 466 Provided

As part of this request, the applicant is seeking to reduce the minimum width of one drive aisle from a minimum of 24 feet wide to 20 feet wide, at the southern end of the proposed parking deck (See applicant letter on page 17). Traffic within this new parking deck will be one-way and the parking spaces along this reduce drive aisle will be angled to the travel lane. This configuration will reduce the likelihood of a conflict arising between vehicles backing out of the spaces and those that will be traveling through the drive aisle.

The Technical Advisory Committee (T.A.C.) met on March 14th and made the following comments:

STAFF COMMENTS:

A. PRIOR TO CONSTRUCTION PLAN APPROVAL:

1. Revised the landscape plan to reflect the 7 Slender Silhouette Sweet gum trees to be 3” caliper instead of 2” as indicated in your response concerning mitigation of the nine bald cypresses to be removed from this site for this project.
2. Remove a light pole that is shown the site plan as being located in the middle of the southern driveway, behind the existing building and east of the new dumpster & parking spaces location.
3. Raise detention pond existing outlet structure to deck level for access purposes. This design to be included in plans and not shop drawings.
4. There is only .17 feet elevation difference between bottom of parking deck and top of outlet structure. This is not enough room for a man to enter the manhole access on top of the outlet structure. Revise plans accordingly.
5. Need sewer connection detail for dumpster drain.
6. Paint color of “ADA Handrail”?
7. Paint color of Dumpster CMU walls?
8. Need color of “Low Clearance Bar”?
9. Need detail for all pavement markings.
10. Need rip-rap specs for basin slopes.
11. Need expansion joint details for 3 foot wide concrete flume and concrete specs.

12. Need ads yard inlet details and bedding detail for 10 inch plastic pipe?
13. Show a line between concrete and asphalt pavement on site plan.
14. Show rigid pavement "Per Detail #8 on Sheet C-12.
15. Need specs and details for new asphalt pavement indicated on site plan.
16. The raised "6 inch brass atrium grate" is shown in the center of the dumpster enclosure. The dumpster cannot be placed on top of a "raised grate". Revise on site plan.
17. Specs needed for "Strapping "at Detail #3 on Sheet C-12.
18. Is interior of dumpster enclosure wall to be painted? If so, show on plans
19. Need footing details for dumpster enclosure walls.
20. Gates needed for dumpster enclosure.
21. Color of metal coping of dumpster enclosure.
22. Cannot tie 10 inch PVC into RCP without access manhole.

B. GENERAL REQUIREMENTS: (To be placed on all final site plans, PD plans, or subdivision plats)

1. All recorded easements shall be shown on the plat. A five (5) foot utility easement is required along all property lines, adjacent to and not within any other easement.
2. All survey data shall be tied to Tennessee State Plane Coordinates and the City of Germantown monumented survey control. The final plat, construction drawings and "as built" plans shall be submitted on electronic media in DXF format.
3. The developer shall enter into a Project Development Contract with the City of Germantown for this project after it has received Final approval from the Design Review Commission.
4. If approved, all materials shall be specified on the construction plans for the proposed project. The applicant must receive Final Construction Plan approval from the Department of Community Development before the Memphis/Shelby County Office of Construction Code Enforcement may issue a building permit for the project.
5. The applicant is required to include the following formal written statement by a certified and licensed professional engineer to be placed on the grading and drainage plans, signed, dated and sealed:
6. I, _____, a duly licensed professional engineer in the State of Tennessee, hereby certify that I have designed the drainage in accordance with the Design Standards of the City of Germantown and have considered upstream and downstream conditions that affect drainage to include topography, present and future land use, existing zoning, and location of natural water courses.
7. No owner, developer, or tenant of property within the subdivision shall commit an act, or allow a condition to exist on property within the subdivision, which act or condition endangers life or health,

violates the laws of decency, or obstructs or interferes with the reasonable and comfortable use of other property in the vicinity.

8. The Developer agrees to comply with the following requirements unless otherwise authorized in writing by the City Engineer:
 - (a) All streets shall be kept clear and free of dirt and debris;
 - (b) All construction activity shall begin no earlier than 7:00 a.m. and end no later than 6:00 p.m., Monday thru Saturday, and no construction activity shall be permitted on Sundays; and
 - (c) The Developer and Lot Purchasers shall provide the Department of Community Development with the name, address and phone number of person(s) to be contacted and responsible for correcting any of the above should the occasion arise to do so.
9. Total acres disturbed shall be provided. A NOC is required for TDEC for the NPDES, Phase II. The NOC shall be posted on the site at all times and the stormwater reports/documentation/inspections shall be available at all times. The SWPP shall be posted at the site and available. Inspections must be performed by personnel who have completed the Level I – Fundamentals of Erosion Prevention and Sediment Control course.

C. DEPARTMENTAL STAFF COMMENTS (to be addressed in the construction plan drawings)

Planning:

23. The recorded Final Plan reflects approved drive aisle widths of 24 feet minimum and 26 feet maximum. Revise plan reflects a reduction of a drive aisle to 20'. Please provide a letter requesting an exception to further reduce the minimum drive aisle width that was previously granted for this PD. The letter should be specific to the exception being requested and include justification for why it is needed for this site plan revision.
24. Nine bald cypresses are proposed to be removed as part of this project. What is the proposed tree mitigation for this? Provide information on the type and size of the trees to be removed and what will replace them and where (include type and size of replacement trees).
25. Provide a landscaping plan to reflect the proposed planting to be provided in the gap between the edge of the deck and the existing screen wall along the western side of the site.
26. Expansion of HD concrete needed on approach to dumpster since multiple trips each week the asphalt will deteriorate.
27. Provide a drainage structure detail on plans from KHA, not a contractor.
28. Per previous approvals in 2013, the sub-standard parking stall size (9'x18') was granted for employee or restaurant parking only. A note to this effect should be placed on the site plan.
29. All directional signage for this new parking area will require DRC approval. Also, check with the Fire Marshal Office to determine if they will require any specific signage for this site.
30. Construction signs are temporary signs and require a permit to be obtained from ECD Neighborhood Services department.
31. Revised the site plan to relocate a light pole shown in the middle of the southern driveway to West Street.

32. Please see Section 3.5 on Lighting in the DRC Manual for to ensure that your lighting plan is in conformance with these requirements.
33. FYI: as part of the DRC's review and approval of the revised final plan, they will be paying special attention to the lighting, landscaping, and signage for this site.

Engineering:

1. Raise detention pond existing outlet structure to deck level for access purposes. This design to be included in plans and not shop drawings.
2. More information is needed related to deck drainage. Explain how pre-fabbed beams can be installed such that they drain surface water as depicted on the G&D sheet.
3. More information is needed related to the west side of the proposed deck and the existing screen wall on the Arthur property. Describe how that area will be maintained.
4. Describe where construction staging area(s) will be.
5. May want to consider installation of solar lights beneath the proposed deck to be able to visually inspect the detention pond.
6. Provide more details as to how the detention pond is to be inspected and maintained after the parking deck is constructed.
7. Provide structural loading capacity of the deck.
8. Provide Engineering with a copy of the maintenance agreement.

Public Services:

Utilities:

1. Please ensure that the dumpster enclosure includes a roof so that it covers the proposed dumpster drain to prevent infiltration and inflow into the City's sanitary sewer collection system.

Drainage:

2. Please explain how the existing drainage structure will be maintained with the overlapping parking structure and the columns that support it.
 - o Please provide an operations and maintenance plan for this activity. This plan should be submitted prior to Final Plan approval by the PC.

Traffic:

3. Please include additional pavement markings indicating the proper flow of traffic to egress the proposed parking structure.
 - a. There is a concern that vehicles parking in the spaces closest to the point of ingress will be tempted to egress the proposed parking area from this ingress-only driveway.

City Fire Marshal:

- Structural engineer shall calculate the load capacity for the parking deck to include the weight of fire apparatus (82,000 lbs.) If deck can support load of fire apparatus, it must be signed.
- Please refer to the general comments listed below for additional fire department requirements.

Fire Department General Requirements

ACCESS:

"Chapter 33, Section 3310, Access for Fire Fighting

- *3310.1 Required Access: Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available."*

NOTE: An approved driving surface shall consist of an all weather surface with a minimum of a single layer of asphalt.

- Fire apparatus access roads shall have a minimum pavement width of 26 feet exclusive of curb and gutter. (24 feet unobstructed) (Germantown City Ordinance, GCO), (IFC D103.1)
- Fire Department access roads shall have a minimum vertical clearance of 13 feet 6 inches. (IFC 503.2.1)
- The access roadway shall be within 50 feet of the normal point of entry to the structure for the fire department. (GCO)
- The fire department access roadway shall be extended to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building (IFC 503.1.1)
- The grade of the fire department access road shall be no greater than 10%. (IFC D103.2)
- Buildings or facilities exceeding three stories or 30 feet in height shall have at least two means of fire apparatus access for each structure. (IFC D104.1)
- Buildings or portions of buildings exceeding 30 feet in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial fire apparatus. (IFC D105.1)
- Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet exclusive of shoulders. (IFC D103.1)
- Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. (IFC D105.1)
- Turns in fire lanes shall be constructed to provide sufficient width to accommodate the largest piece of fire apparatus available to be operated on the fire lane, but in no case shall the radius to the outside curb line be less than 50 ft. (NFPA 1141)
- Multi-family residential developments having more than 100 dwelling units shall be equipped throughout with two separate and approved fire apparatus access roads. (IFC D106.1)

- Dead-end fire apparatus access roads in excess of 150 feet shall be provided with a turnaround cul-de-sac of 96' diameter cul-de-sac. (IFC D103.4)
- Buildings exceeding 62,000 square feet or the sum of buildings within a development shall have two separate and approved fire apparatus access roads. (*Exception: buildings or the sum of square footage within a development will be permitted not to exceed 124,000 square feet if protected throughout with an automatic sprinkler system designed to NFPA 13 standards*) (IFC D104.2)
- Where two access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses. (IFC D104.3)
- Security gates across fire department access roadways, when open, shall provide an unobstructed width of 24 feet. (*See the City's Private Street Policy for additional requirements on gate features*) (IFC D103.5)
- Fire lane signs shall be posted on both sides of fire apparatus access roads that are 20 to 26 feet wide. (IFC D103.6.1)

PREMISES IDENTIFICATION:

- New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
- Numbers shall be a minimum of 4 inches high with a minimum stroke width of .5 inches and contrast with the background.
- This standard shall also apply to suite numbers.
- In a multi tenant building address numbers and/or suite numbers shall be posted on all doors allowing access to the suite.

UTILITIES/WATER:

- Fire hydrants shall be located within 3 feet of roadway access with the 4 inch outlet facing the roadway access
- Fire hydrants shall be installed so that there is a minimum of 18 inches between the center of the 4 inch steamer cap and the surrounding finish grade, for a radius of at least 5 feet.
- Fire hydrants along street or fire access routes or at intersections shall be visible for a minimum of 100 feet in all directions.
- Fire hydrants shall be free from obstructions on all sides by a minimum clearance of not less than 3 feet. i.e. landscape, light poles, signs, fences
- Fire hydrants shall be installed, for commercial buildings not greater than 300 feet apart. In residential communities, excluding multifamily occupancies, fire hydrants shall be installed not greater than 500 feet apart.
- Fire hydrants shall be placed at a minimum of 40 feet from any structure.
- Fire hydrants installed within the City of Germantown shall be silver in color.
- Plans submitted must identify that the underground main installed meets the requirements of NFPA 24.
- The underground main must have a hydraulic test performed and recorded at 200 psi for 2 hours.
- Dead end mains are not permitted unless approved by the fire code official.
- Piping shall not be installed under buildings unless approved by the fire code official.

- Required fire flows shall be calculated with 20 psi residual pressure for a minimum flow of 2 hours.

FDC:

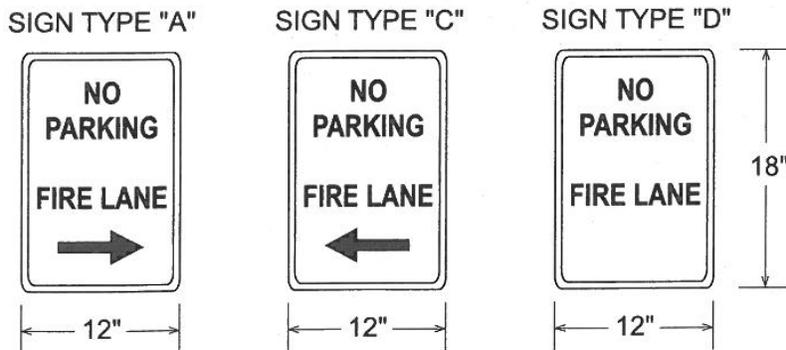
- The fire department connections (FDC) shall consist of two 2 1/2 inch connections using NH internal threaded swivel fittings with 2.5-7.5 NH standard thread.
- The fire department connections (FDC) shall consist of two 2 1/2 inch connections using NH internal threaded swivel fittings with 2.5-7.5 NH standard thread. There shall be a 2 1/2 inch fire department connection for each 250 gpm required for the fire pump. Where more than (2) connections are required to meet the demand of the fire pump, a 5" Storz connection may be used.
- The fire department connection should be located not less than 18 in. (457 mm) and not more than 4 ft (1.2 m) above the **finished** grade.
- The FDC shall be located a minimum of 40 feet from the structure and within 100 feet of a fire hydrant.
- The FDC shall be located on the address side of the structure.
- The fire department connection shall be painted red with white address numbers. (not required if the FDC is mounted on the structure)
- For hydraulically calculated systems, the fire department connection shall not be less than the size of the system riser.

PIV:

- The post indicator valve (PIV) shall be set so that the top of the post will be 36 in. (0.9 m) above the final grade.
- The PIV shall be located a minimum of 40 feet from the structure.
- The PIV shall be located on the address side of the building.
- The PIV shall be red with white address numbers (not required if the PIV is mounted on the structure)

FIRE LANE SIGNS:

- Where required by the fire code official NO PARKING FIRE LANE signs shall be installed.
- Signs shall have a minimum dimension of 12 inches wide by 18 inches high.
- Signs shall have red letters on a white reflective background.
- Reference the City of Germantown sign ordinance for height requirements



APPENDIX

NFPA 1141:

5.4 Parking Lots.

5.4.1* The minimum lengths of parking lot stalls shall be measured end to end as shown in Figure 5.4.1, and the minimum stall length and aisle widths shall be as shown in Table 5.4.1.

Table 5.4.1 Minimum Parking Lot Stall Dimensions and Minimum Aisle Lengths

Minimum Stall Length One Way Traffic Flow Parking Angle	Minimum Aisle Width Two way Traffic Flow		Minimum Aisle Width		Minimum Aisle Width	
	ft	m	ft	m	ft	m
45 degrees	27.5	8.4	16	4.9	24	7.3
60 degrees	23.7	7.2	16	4.9	24	7.3
75 degrees	20.9	6.4	23	7.0	24	7.3
90 degrees	18.5	5.6	26	7.9	26	7.9

5.4.2 Parking lot aisles adjacent to any building shall provide a travel lane with a minimum 24 ft (7.3 m) clear width.

5.4.3 The minimum turning radius for parking lot aisles necessary for fire department apparatus access shall be determined by the fire department having responsibility.

STAFF RECOMMENDATION:

Approval of Outline Plan Amendment and Revised Final Plan for The Shops of Saddle Creek South Parking Lot Expansion, subject to the conditions listed above and in the staff report, and the documents submitted with the Amended Outline Plan and the Revised Final Plan for a 50 new parking space expansion.

Chairman Harless asked if the detention area underneath the proposed parking deck going to be gated or locked, in order to prevent children or unauthorized people from going there?

Mr. Ross answered yes, a gate at the Planning Commission Subcommittee.

Chairman Harless invited the applicant up to discuss the project.

Jarmon Peregoy and Lindsey Hearson (project engineers with Kimley Horn at 6750 Poplar Avenue, Memphis, TN 38138) made a presentation. Mr. Peregoy answered the gate will be added across the backside of the flume and parking deck, where the dumpster closure is located to the east in the back.

Chairman Harless asked if there were any questions of staff. There were none.

Chairman Harless asked if there were any questions of commissioners.

Alderman Owens stated that there are issues regarding the out parcel of Saddle Creek South, as discussed at the Planning Subcommittee meeting, particularly the frontage along Poplar Avenue. These issues will be addressed at the Design Review Commission with the property owners.

Mr. Bacon asked how many construction staging parking spaces will be taking up the front.

Mr. Peregoy answered that a few parking stalls will be taken for construction staging.

Mr. Bennett asked to explain the west side of the screen wall and where the parking deck is going. Is there going to be an open gap between the two? How will that be addressed with the western facing side of that parcel? What kind of trees will be planted?

Mr. Peregoy answered yes; that is correct, there will be an open gap in between the proposed parking deck and the existing brick screen wall. The existing brick screen wall is about six feet high, and abuts the east right side of McVay Road on the property line. There is about a seven foot gap between that screen wall and the wall of the parking deck. Ms. Herron noted that seven sweet gum trees are proposed to be planted within that area, as replacements for the nine bald cypress trees that will be removed out of the bottom of the detention pond. Sweet gums were selected as they are very slender trees and will grow more than seven feet, before branching out. The parking deck itself would be a painted concrete finish to match the back of the shopping center.

Mr. Clark expressed concern about the safety regarding the gap between the brick screen wall and the wall of the parking deck. He also asked does someone live in the home on McVay Road, across from the existing brick retaining wall. If so, have they been notified about this project?

Mr. Ross answered yes; they are on the notification list.

Chairman Harless asked if the 50 additional parking spaces provide enough parking for the Shops of Saddle Creek, and whether traffic counts or a traffic study has been completed. The city receives a lot of complains about not enough parking at Saddle Creek. Hopefully, these additional parking spaces will satisfy the tenants. At the Planning Subcommittee there was a comment regarding parking in the Arthurwood Cove by the bank, as a parking mitigation measure. Was this a suggestion addressed?

Mr. Peregoy noted the parking as proposed will meet the requirements of the underlying zoning code. A parking analysis for the entire center was not completed; thus, it is not known if the additional parking spaces will reduce congestion at the shopping center.

Mr. Ross answered Arthurwood Cove, to which Chairman Harless referred, it is a private drive. It is owned separately from Saddle Creek South. It's his understanding from Chris Herman with Trademark Properties (owner/developer/manager of Saddle Creek Shopping Center) that they have tried to work with the owner of Arthurwood Cove as well as the bank on parking options, but those negotiations have not been met.

Chairman Harless asked if anyone in the audience would like to speak in favor on this project. There were none.

Chairman Harless asked if anyone in the audience would like to speak against this project. There were none.

Chairman Harless asked if there were any questions of commissioners. There were none.

ZONING & ANNEXATION SUBCOMMITTEE ACTION: (RICK BENNETT, CHAIRMAN)

The subcommittee met on March 21, 2018, and recommended that the application be considered by the Planning Commission, subject to the subcommittee discussion, staff comments in the staff report, and the plans and documents filed with the application.

MAIN MOTION: To approve the Outline Plan Amendment and Revised Final Plan for The Shops of Saddle Creek South Parking Lot Expansion, subject to the Board's discussion, staff's conditions and comments in the

staff report, and the documents and plans filed with the Amended Outline Plan and the Revised Final Plan application for a 50 new parking space expansion.

Mr. Bacon moved to approve, seconded by Mr. Clark.

Chairman Harless asked for a roll call.

Roll Call: Hicks – yes; Saunders – yes; Hernandez – absent; Bacon – yes; Harless – yes; Owens – yes; Clark – yes; Bennett – yes; Palazzolo - absent. **The motion passed.**

Mr. Bacon voted yes; he would like to applaud Trademark for making a substantial investment to eliminate parking issues at the shopping center. It's a bold move.

Mr. Saunders voted yes; he wanted to echo what Alderman Owens has indicated that the property management needs to work with the Design Review Commission to address the issues concerning the façade of the out parcel building facing Poplar Avenue. The Commission doesn't want the walls facing Poplar Avenue to be stark white, as they currently are. He also would like to applaud Trademark.

Chairman Harless said congratulations and the motion passes.

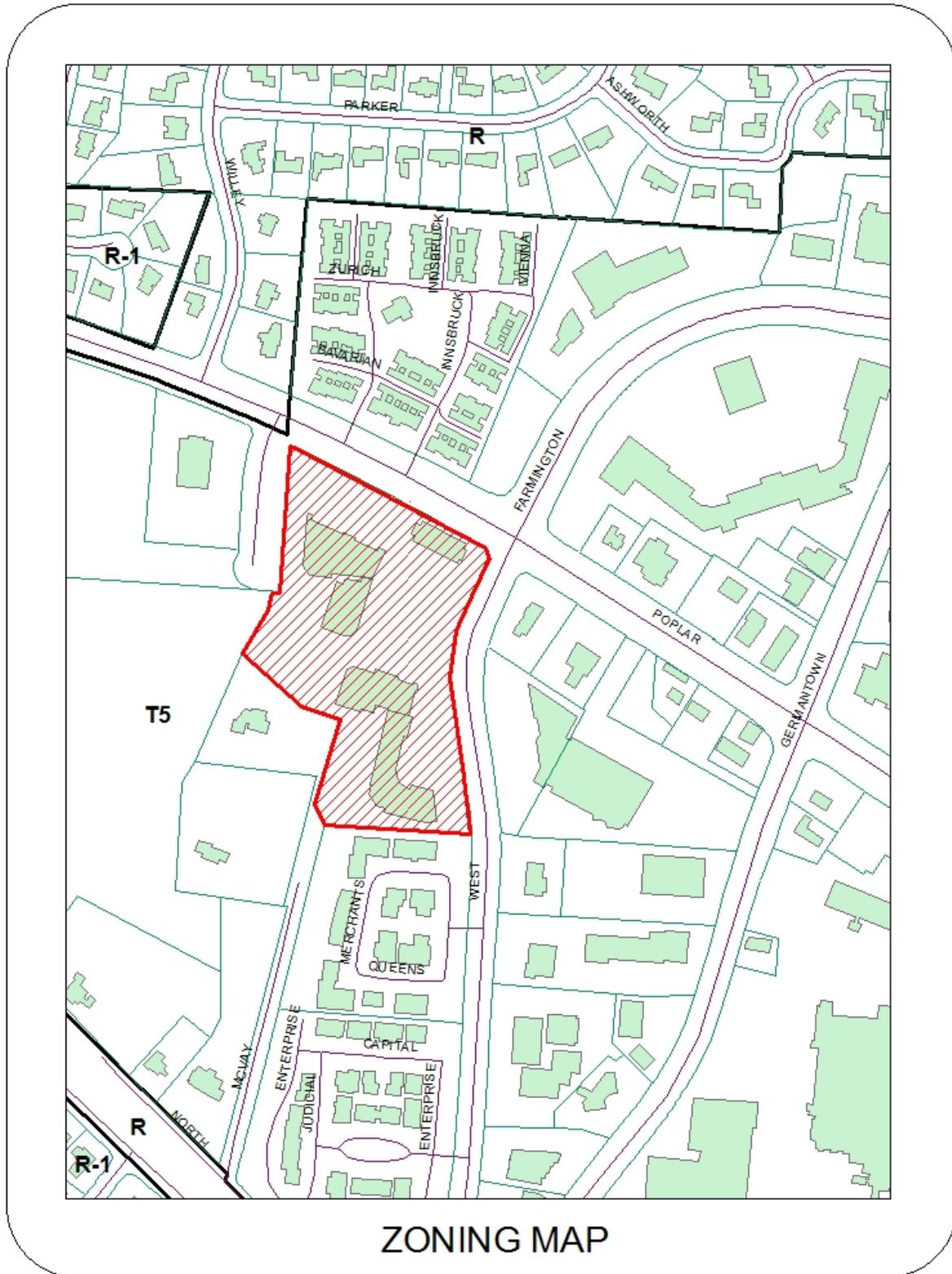
Chairman Harless asked if there was any old business to come before the Commission. There were none.

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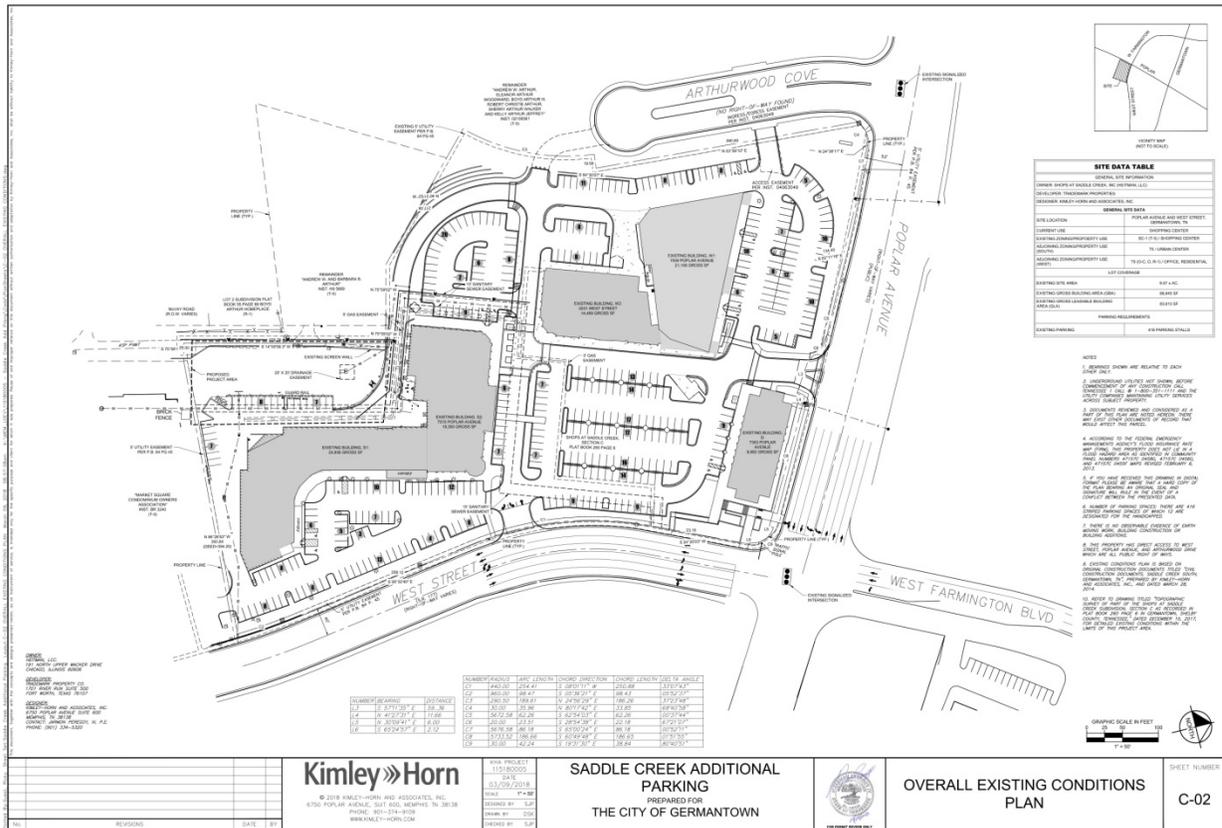
Chairman Harless asked if there were any liaison reports. Mr. Ross wanted to thank Mr. Saunders for being the liaison for the EDC and coming out to the Economic Development Commission Work Session it was on Saturday, March 17, from 8:00-12:00. He participated in the discussion with eight other EDC members.

Chairman Harless noted a gold star would be given to Mr. Saunders.

ADJOURNMENT: The meeting adjourned at 6:20 p.m.



CURRENTLY APPROVED SITE PLAN
 (ENLARGED COPY OF EXISTING CONDITION PLAN ARE INCLUDED WITH THIS REPORT)



DRAFT



CITY OF GERMANTOWN TENNESSEE

DATE RECEIVED: _____
 RECEIVED BY: _____

1930 South Germantown Road • Germantown, Tennessee 38138-2815
 Phone (901) 757-7200 Fax (901) 757-7292 www.germantown-tn.gov

PLANNING COMMISSION OFFICIAL APPLICATION FORM

TYPE OF APPLICATION	
<p>(Check <input checked="" type="checkbox"/> all that apply):</p> <p> <input type="checkbox"/> Sketch Plan; <input type="checkbox"/> Preliminary Site Plan; <input checked="" type="checkbox"/> Final Site Plan <input type="checkbox"/> Minor Subdivision; <input type="checkbox"/> Preliminary Plat; <input type="checkbox"/> Final Plat <input type="checkbox"/> Grading/Tree Removal; <input type="checkbox"/> WTF (Wireless Transmission Facility) <input type="checkbox"/> Rezoning From: _____ To: _____ <input type="checkbox"/> Other: _____ </p>	
<p>*****</p> <p>IS THIS SITE WITHIN A SMART CODE AREA: (Circle One) <u>YES</u> NO</p> <p>(Please note - if yes, than follow Smart Code Application Instructions to complete this form for submittal)</p>	
<p>PLANNED USE DEVELOPMENT'S (PUD) ONLY: <small>*PROJECT LOCATION IS WITHIN EXISTING SHOPS AT SADDLE CREEK, WHICH WAS DEVELOPED BASED ON SC-1 GUIDELINES WITH VARIANCES FOR SMART GROWTH.</small></p> <p> <input type="checkbox"/> PUD Outline Plan (Master Plan); <input checked="" type="checkbox"/> PUD Amendment to Outline Plan; <input type="checkbox"/> PUD Preliminary Plan (individual phases); <input checked="" type="checkbox"/> Final Plan (individual phases); </p> <p>Phase: <u>N/A</u> Date of PUD Outline Plan (Master Plan) Approval: <u>Recorded 06-27-2014</u></p> <p>Other: <u>Additional parking to be added to the existing development</u></p>	
PROJECT INFORMATION (Provide Additional Pages as Needed)	
<p>Project Name: <u>SADDLE CREEK PARKING ADDITION</u></p> <p>Address/Location: <u>SOUTHWEST CORNER OF THE SADDLE CREEK SHOPPING CENTER</u></p> <p>Project Description: <u>PARKING DECK CONSTRUCTION OVER EXISTING DETENTION FACILITY IN THE SADDLE CREEK SHOPPING CENTER ON THE SOUTH SIDE OF POPLAR AVENUE</u></p> <p>No. of Acres: <u>2.0</u> Parcel Identification Number(s): <u>G0230 00443C</u></p> <p>PLEASE ATTACH A LETTER EXPLAINING THE PROJECT, IN DETAIL, AND LISTING ALL VARIANCES REQUESTED FROM THE SUBDIVISION AND ZONING REGULATIONS.</p>	
PROPERTY OWNER/LESSEE/DEVELOPER INFORMATION (All applicable parties shown below must sign the application)	
<p>Property Owner Name (Print): <u>THE SHOPS AT SADDLE CREEK, INC. - MARK HUDGINS</u> Address: <u>191 N WACKER DR., CHICAGO, IL 60608</u></p> <p>Phone No.: <u>312.849.6789</u> Email Address: _____</p> <p>Signature of Property Owner: TITLE- VICE PRESIDENT</p> <p>Lessee Name (Print): _____ Address: _____</p> <p>Phone No.: _____ Email Address: _____</p> <p>Signature of Lessee: _____</p> <p>Developer Name (Print): <u>TRADEMARK PROPERTIES - CHRIS HERMAN</u> Address: <u>1701 RIVER RUN, STE 500, FT. WORTH, TX 76107</u></p> <p>Phone No.: <u>817.810.5321</u> Email Address: <u>CHERMAN@TRADEMARKPROPERTY.COM</u></p> <p>Signature of Developer: TITLE - VICE PRESIDENT OF CONSTRUCTION</p>	

PLEASE ATTACH A COPY OF THE DEED REFLECTING OWNERSHIP OF THE SUBJECT REAL PROPERTY

AGENT/REPRESENTATIVE INFORMATION

Name: CHRIS HERMAN Title: VICE PRESIDENT OF CONSTRUCTION
Company Name: TRADEMARK PROPERTIES Address: 1701 RIVER RUN, STE 500, FT. WORTH, TX 76107
Phone No.: 817.810.5321 Email Address: CHERMAN@TRADEMARKPROPERTY.COM
Who will represent this proposal at the Planning Commission meeting? CHRIS HERMAN AND JENNIFER PEREGOY

ENGINEER/SURVEYOR INFORMATION

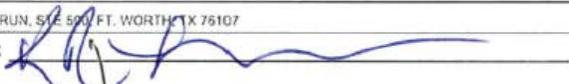
Engineer Name: JENNIFER PEREGOY Address: 6760 POPLAR AVENUE STE 600, MEMPHIS TN 38138
Phone No.: 901.374.9109 Email Address: JENNIFER.PEREGOY@KIMLEY-HORN.COM
Surveyor Name: HARRIS AND ASSOCIATES Address: 6074 APPLE TREE DR #14, MEMPHIS, TN 38115
Phone No.: 901.362.2345 Email Address: JWISEMAN@HARRISASSOCIATESLANDSURVEYORS.COM

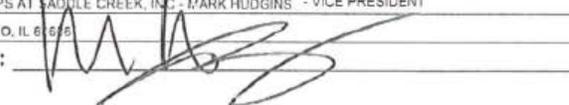
DRAFT

DISCLOSURE OF OWNERSHIP INTERESTS

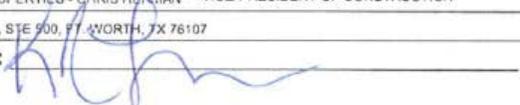
In order to assist staff and appointed and elected officials of the City of Germantown in complying with Ordinances of the City relating to conflicts of interest, the following information is required to be furnished:

- For-Profit Entities.** If the Applicant (including all owners, lessees and developers) submitting this Application ("Applicant") is a for-profit entity, i.e. sole proprietor, general partnership, limited partnership, corporation, limited liability company, RE.I.T., a trust, or any other form of for-profit business entity, the authorized representative of the Applicant must list below the respective names and business or home addresses of all persons or entities which own 10% or more of the ownership interests in the Applicant. (If another business entity owns 10% or more of the ownership interests in the Applicant, all persons owning a 10% or more interest in such last mentioned entity must be identified by name and business or home address.) (If a trust owns a 10% or more interest in the Applicant, all beneficiaries of 10% or more of the trust assets must be identified by name and business or home address.) The amount of ownership interest does not have to be disclosed.

Applicant: TRADEMARK PROPERTIES - CHRIS HERMAN - VICE PRESIDENT OF CONSTRUCTION
 Address: 1701 RIVER RUN, STE 900 FT. WORTH TX 76107
 Signature of Applicant: 

Property Owner: THE SHOPS AT SADDLE CREEK, INC. - MARK HUDGINS - VICE PRESIDENT
 Address: 191 N WACKER DR., CHICAGO, IL 60608
 Signature of Property Owner: 

Lessee: _____
 Address: _____
 Signature of Lessee: _____

Developer: TRADEMARK PROPERTIES - CHRIS HERMAN - VICE PRESIDENT OF CONSTRUCTION
 Address: 1701 RIVER RUN, STE 900, FT WORTH, TX 76107
 Signature of Developer:  

Persons or Entities Owning 10% or More of the Ownership Interests of the Applicant:

Name	Business or Home Address
_____	A single entity, known as Shops at Saddle Creek, Inc., a Florida Corporation owns 100% of the asset on behalf of the employee pension fund of the State Board of Administrative of Florida.
_____	Mark Hudgins is an officer (Vice President) of Shops at Saddle Creek, Inc., but has not ownership interest whatsoever; does any other officer of Shops at Saddle Creek, Inc.



MEMORANDUM

To: Sheila Pounder – City of Germantown Planning Division Manager
From: S. Jarmon Peregoy, P.E.(s)
Kimley-Horn and Associates, Inc.
Date: 3/26/2018
Subject: Saddle Creek Additional Parking – Response Letter

We are requesting an exception to the previously approved drive aisle widths for the Shops at Saddle Creek. In 2013, a 24-foot minimum and 26-foot maximum drive aisle width was approved and recorded. We propose a reduction of the drive aisle to 20' for one-way traffic within the parking deck.

This is required due to the existing limitations within the area of the proposed project. The entrance is constrained by the proposed retaining wall location for the parking deck and the existing transformer that will remain in place. The location of the retaining wall was positioned to avoid the existing screen wall on the west side of the property as well as to achieve the 18' parking stall length. The existing transformer will remain in place to avoid disrupting electric service to the shopping center. The exit is also constrained by an additional existing transformer and three (3) proposed angled parking stalls. The angled parking stalls were provided to maximize parking for the project and for the development. The parking stalls could not be shifted south due to property line constraints.

Please consider this justification for the reduction in drive-aisle for this project. If you have any questions or concerns, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read "S. Jarmon Peregoy", written in a cursive style.

S. Jarmon Peregoy